



TOWN OF
BRECKENRIDGE

Town Council Work Session

Tuesday, December 12, 2023, 2:00 PM

Town Hall Council Chambers

150 Ski Hill Road

Breckenridge, Colorado

THE TOWN OF BRECKENRIDGE IS HOLDING HYBRID MEETINGS. This meeting will be held in person at Breckenridge Town Hall and will also be broadcast live over Zoom. Login information is available in the calendar section of our website: www.townofbreckenridge.com. If you will need special assistance in order to attend any of the Town's public meetings, please notify the Town Clerk's Office at (970) 547-3127, at least 72 hours in advance of the meeting.

I. LIQUOR AND MARIJUANA LICENSING AUTHORITY INTERVIEWS (2:00-2:20pm)

Liquor and Marijuana Licensing Authority Applications

II. 106 WEST FOOD AND BEVERAGE DISTRIBUTION CENTER MODEL (2:20-3:00pm)

Distribution Center Model Presentation

III. SPEAKER MCCLUSKIE AND SENATOR ROBERTS LEGISLATIVE UPDATE (3:00-3:45pm)

IV. PLANNING COMMISSION DECISIONS (3:45-3:50pm)

Planning Commission Decisions

V. LEGISLATIVE REVIEW (3:50-4:30pm)

2023 Budget Appropriations (First Reading)

Ordinance to Approve Lease Renewal for US Bank (First Reading)

Charter Amendment - Election Commissioner Term (First Reading)

Charter Amendment - Board and Commission Appointee Qualifications (First Reading)

Town Prosecuting Attorney Annual Appointment (Resolution)

VI. MANAGERS REPORT (4:30-5:00pm)

Public Projects Update

Mobility Update

Sustainability Update

Housing and Childcare Update / Non-Profit Pilot Program: Justice Center

Committee Reports

Breckenridge Events Committee

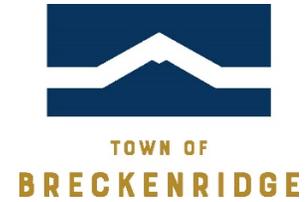
VII. OTHER (5:00-5:05pm)

Breckenridge Events Committee Appointment

Breckenridge Social Equity Advisory Commission Appointments

VIII. PLANNING MATTERS (5:05-6:15pm)

BGV Peak 8/Gold Rush Lot Development Discussion



Memo

To: Breckenridge Town Council Members
From: Tara Olson, Deputy Town Clerk
Date: 12/12/2023
Subject: Liquor & Marijuana Licensing Authority Appointments

The Liquor & Marijuana Licensing Authority (LMLA) consists of five (5) members who are appointed by Town Council.

Current members include:

- Ace Conway, Chair
- Ashley Zimmerman, Vice-Chair
- Leigh Girvin
- Kelly Lovely
- Haley Littleton

The Authority members' terms are four (4) years. Terms are staggered and expire at the end of December in alternating, odd-numbered years. The two members whose terms expire this year are Leigh Girvin and Haley Littleton, with Leigh Girvin being term limited. We realize time is valuable and would like to thank Leigh and Haley for their time with the Liquor & Marijuana Licensing Authority!

The available volunteer Authority positions were advertised in English and Spanish in the Summit Daily News, the Summit County Journal, on the Town of Breckenridge website and on the Town of Breckenridge social media platforms.

Four (4) applications were submitted:

1. Craig Partnow
2. Garren Riechel
3. Sean Ryan Fitzsimmons
4. Austyn Dineen

Application responses are attached for your review.

Two (2) seats need to be appointed at this time. Appointment may be made by motion and a sample motion follows.

Sample Motion:

"I move that we appoint *Name* and *Name* to four-year terms on the Breckenridge Liquor & Marijuana Licensing Authority".

Liquor & Marijuana Licensing Authority Application Submissions – December 2023

1. Craig Partnow

607 Airport Rd
Breckenridge, CO 80424

Briefly describe your interest in the Liquor and Marijuana Licensing Authority.

I don't have much interest, if at all, in either subject but it sounds like a fantastic and very interesting opportunity.

Briefly describe how your background will add to the ability of this authority to effectively evaluate liquor and marijuana licensing applications and other related matters.

I'm a longtime resident of Breckenridge (20 years), I speak 3 languages, I'm charismatic, friendly, dependable and sober. I also emphatically love my community and the majority of our residents because I have not met them all yet. (Haha)

Is there anything else you would like us to know about you?

I'm searching for a better paying job so that I could afford to take personal time to pick up litter in my neighborhood. I own Uncle Craig's Jerky LLC and I work at Wendy's part-time so time/energy/funds and other resources are limited. My wife is also a longtime local and we've been married for 15 years, and we really want to put down deeper roots, if possible.

2. Garren Riechel

428 Kings Crown Rd,
Breckenridge, CO 80424

Briefly describe your interest in the Liquor and Marijuana Licensing Authority.

I am a full-time resident with a flexible work schedule and have a keen interest in getting involved in local government. I love a good ski town vibe complete with beers, cocktails, and recreational marijuana, and understand that responsible oversight and licensing is necessary to provide a safe and enjoyable experience for everyone. I would love to be considered for a position on this committee.

Briefly describe how your background will add to the ability of this authority to effectively evaluate liquor and marijuana licensing applications and other related matters.

While I have not worked directly with evaluating liquor and marijuana, I do have experience as a member of a variety of panels which are responsible for some sort of evaluation. These include professional hiring decisions at an engineering firm, and experience as a board director of a local HOA where I lead discussions and decisions regarding budget and association member requests.

Is there anything else you would like us to know about you?

Left Blank

3. Sean Ryan Fitzsimmons

12 Ontario Green
Breckenridge, CO 80424

Briefly describe your interest in the Liquor and Marijuana Licensing Authority.

While working in technology is my professional career, all things food/beverage are my passion area outside of work. Over the last 3.5 years I have gotten to know many of our restaurant service employees, managers, and owners through a Facebook group that I founded called High Country Foodie Club. I would love the opportunity to help that part of our community in an even bigger way by joining the LMLA, balancing their needs with state and Town of Breckenridge regulations.

Briefly describe how your background will add to the ability of this authority to effectively evaluate liquor and marijuana licensing applications and other related matters.

I have extensive experience in helping bars and restaurants craft unique beverage programs that both grow their business while ensuring the safe consumption of alcohol. I believe that experience also carries over into the marijuana business and the ever-evolving laws around that state and country that govern that industry.

During the pandemic I was instrumental in helping our town and county restaurants safely reopen under Colorado's 5-star program. I would draw from that experience as well if I were fortunate enough to be given this opportunity by the council and mayor.

Is there anything else you would like us to know about you?

I love our town, I love our county, and I would love the opportunity to help our culinary options in town grow in a way that allows them to express their creativity while ensuring the safe and responsible consumption of alcohol (and marijuana).

4. Austyn Dineen

33 Placer Green
Breckenridge, CO 80424

Briefly describe your interest in the Liquor and Marijuana Licensing Authority.

I'm interested in Breckenridge's liquor and marijuana licensing authority opportunity because I see the authority as an interesting way to give back to the community by helping the authority effectively communicate decisions in our greater community and also, I bring a diverse community perspective.

Briefly describe how your background will add to the ability of this authority to effectively evaluate liquor and marijuana licensing applications and other related matters.

Over the nearly two decades that I've called Breckenridge home, I feel that I can make effective and educated decisions by weighing how decisions will affect the greater community. Given the tourism economy of our destination, I think a close eye needs to be paid attention to the quality of life of residents, the quality of the place for guests, and the proper education so that both continue to thrive.

Is there anything else you would like us to know about you?

Left Blank

Memo



TOWN OF
BRECKENRIDGE

To: Breckenridge Town Council Members
 From: Town Staff
 Date: 12/6/2023 (for the 12/12/23 work session)
 Subject: Food & Beverage Delivery Center

As part of the Blue River Pathways project, the Town is looking for ways to reduce the number of delivery trucks accessing businesses from the Main Street alleys and River Walk to both improve pedestrian safety and aesthetics, as well as reduce emission by limiting truck travel and idling throughout Town. A centralized Food & Beverage Delivery Center is proposed as a means to meet these goals. Delivery trucks would deliver to one location rather than travel door-to-door to downtown businesses, reducing their time on Town roads, alleys, and the River Walk. A third-party company would then distribute the deliveries to the restaurants and businesses using a fleet of small electric vehicles. A similar program has been launched by the Town of Vail. Staff and Council members recently visited the Vail site during the Mountain Towns 2030 conference. The 2024 pilot program is included in the current Capital Improvements Plan (CIP) and budgeted at \$250,000.

Staff has taken a preliminary look at four locations within Town for suitability of the 2024 pilot program. The sites are the Public Works yard, Schoonover site, Tiger Dredge horseshoe, and F Lot. The Tiger Dredge horseshoe site has risen to the top for a pilot location for the project.

<u>Site</u>	<u>Pros</u>	<u>Cons</u>
Public Works	Less visible to the public Not in Conservation District	Too far from businesses for efficient delivery of goods
Schoonover	Easy access to alleys Easy access to River Walk Limited parking impact	Very visible in downtown core Historic District Possible vehicular and ped conflicts in the Gold Pan Alley
Tiger Dredge Horseshoe	Easy access to alleys Easy Access to River Walk Less visible from Park Ave due to low elevation of the Tiger Dredge Lot Final configuration could include structured parking above delivery center to mitigate parking loss Adjacency to Riverwalk Center could be beneficial for events	~36 employee parking spaces impacted during pilot Conservation District Possible vehicular and ped conflicts in Tiger Dredge Lot
F Lot	Easy access to alleys Easy access to River Walk Not in Conservation District	Would need entire parking lot for truck circulation ~171 parking spaces impacted during pilot and final configuration Very visible from Park Ave

The Tiger Dredge horseshoe offers excellent connectivity to the downtown core for efficient deliveries, has adequate space for large truck movements, the grade change on the site offers some screening of the temporary structure from Park Avenue, and if a permanent structure is constructed it could be designed to incorporate structured parking above and include equipment loading facilities for the Riverwalk Center.

The most notable challenges of constructing the project in the Tiger Dredge horseshoe area are the temporary loss of employee parking and the Development Code restrictions for the Conservation District. There will need to be several waivers from the Development Code for both the pilot and permanent delivery centers under the Town's Public Project process. These waivers may include building size, use, and orientation to the river.

Figure 1 illustrates the truck turning movements and footprint of the project on the Tiger Dredge horseshoe. Deliveries would be programmed to occur in the early morning to limit potential conflicts between pedestrians, vehicles, and the delivery trucks.

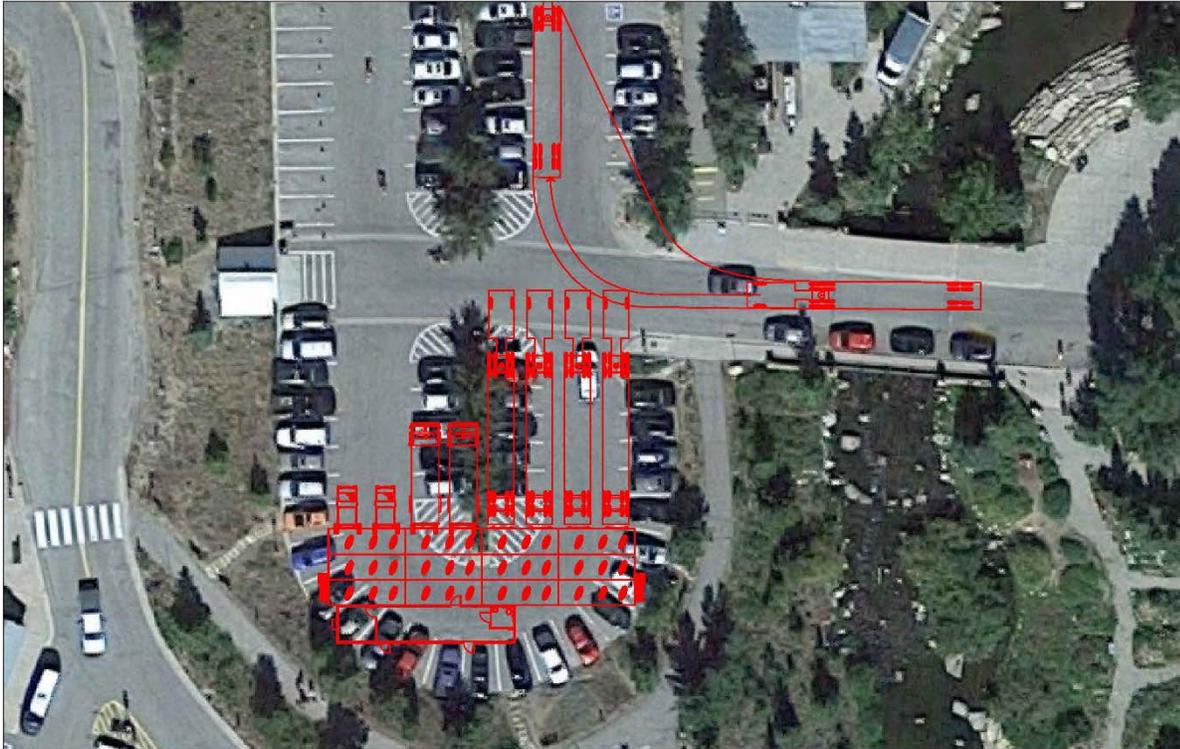


Figure 1. Conceptual layout and truck turning template for Food & Beverage Delivery Center at Tiger Dredge Lot.

Staff is proposing a temporary structure for the pilot project. Use of a temporary structure of this size and duration is prohibited within the Conservation District and would need to be approved as part of a Public Project. Below are examples of temporary structures suited for the pilot program. The exterior of these types of buildings are canvas and can come in neutral colors such as dark brown but cannot have siding attached to the walls. The temporary structure would be in place for two years in the Tiger Dredge lot and then could be relocated to F Lot for one summer while the permanent building is constructed.



Figure 2. Examples of large temporary structures suitable for the pilot program. The color of canvas walls and roof can be customized to neutral colors such as dark brown or grey.

The next steps for this project are launching an RFP for the pilot program with the goal to have the program running in the early summer. The 2024 CIP contemplates the pilot project launching in early summer of 2024 and construction of the permanent facility in 2026. To meet these goals, Staff is proposing the following schedule:

2024

January

- RFP for design-build of pilot program and team selection

February

- Public outreach to Restaurant Association, retail, lodging, and all other interested businesses and residents.
- Report to Council on public feedback
- Budget update for pilot program

March

- Planning Commission review

June

- Pilot program starts with select partner vendors

2025

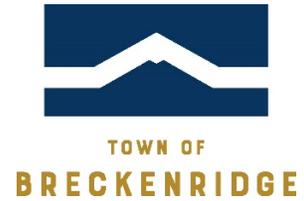
- Pilot program refinement and possible expansion of vendors
- Explore materials management options
- Grant applications
- Design of permanent structure

2026

May-November

- Construction of permanent delivery center would begin in spring 2026. If the Tiger Dredge lot is utilized as the permanent location, the temp structure could be moved to F-lot for the summer and the delivery center be constructed alongside drainage and circulation improvements for F Lot.

A centralized food and beverage delivery center with third-party distribution will reduce truck traffic in our alleys, River Walk, and throughout the downtown core. This project works to meet public safety and aesthetic goals of the Blue River Pathways project, emission reduction goals of the Sustainable Breck Plan, and support the Community Goal of Leading Environmental Stewardship. Staff looks forward to discussing this project with the Council at the work session.



Memo

To: Breckenridge Town Council Members
From: Mark Truckey, Director of Community Development
Date: December 6, 2023
Subject: Planning Commission Decisions of the December 5, 2023 Meeting

DECISIONS FROM THE PLANNING COMMISSION MEETING, December 5, 2023:

CLASS A APPLICATIONS: None.

CLASS B APPLICATIONS: None.

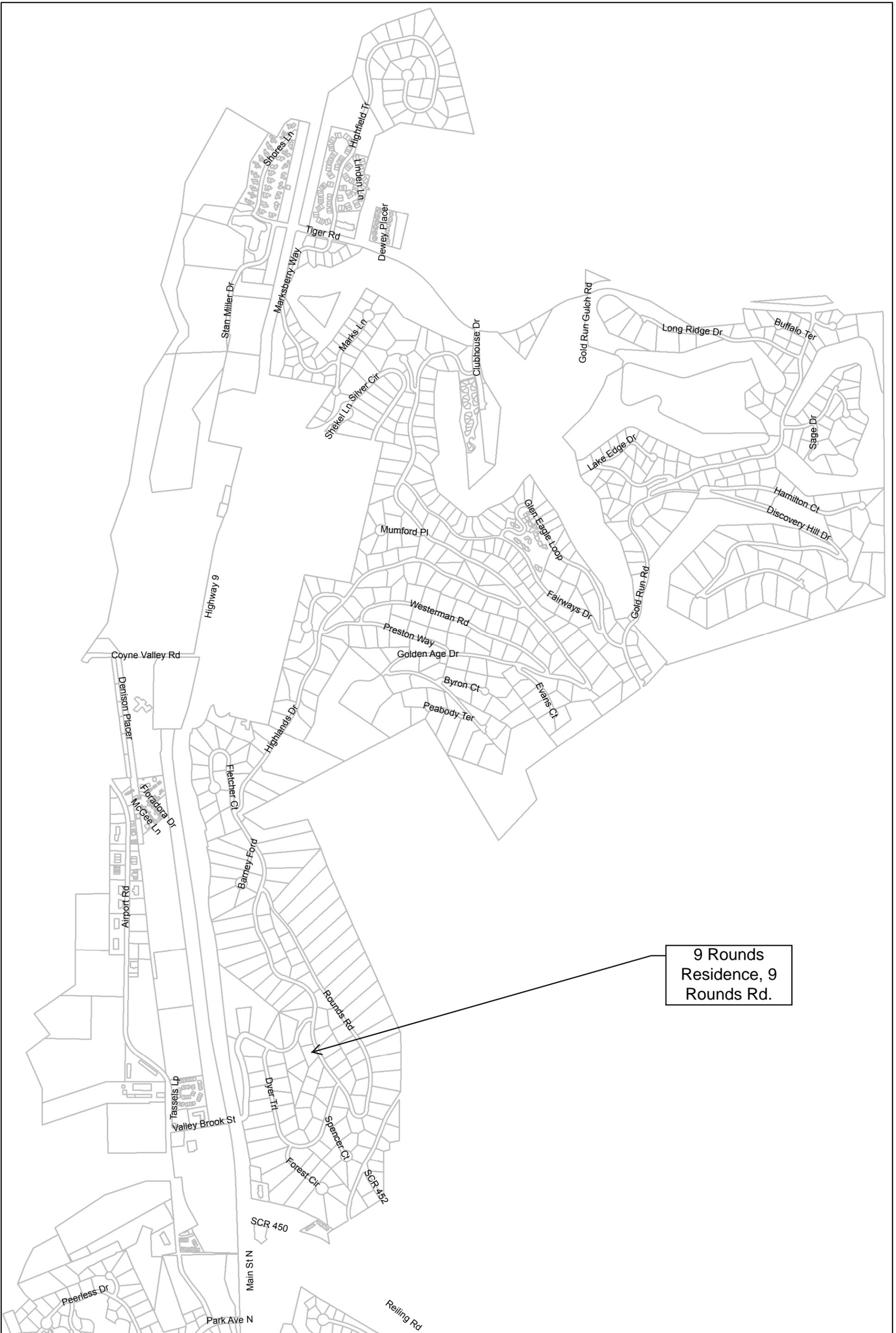
CLASS C APPLICATIONS:

1. Nine Rounds Residence, 9 Rounds Rd., PL-2023-0554

A proposal to construct a new single-family residence with 5,974 sq. ft. of density. The residence will have 6 bedrooms, 6.5 bathrooms, and a three-vehicle garage. *Approved.*

TOWN PROJECT HEARINGS: None.

OTHER: None.



9 Rounds
Residence, 9
Rounds Rd.

PLANNING COMMISSION MEETING

The meeting was called to order at 5:30 pm by Chair Leas.

ROLL CALL

Mike Giller -remote	Mark Leas	Allen Frechter	Susan Propper
Ethan Guerra	Steve Gerard	Elaine Gort	

APPROVAL OF MINUTES

With no changes, the November 21, 2023 Planning Commission Minutes were approved.

APPROVAL OF AGENDA

With no changes, the December 5, 2023 Planning Commission Agenda was approved.

PUBLIC COMMENT ON HISTORIC PRESERVATION ISSUES:

- None

CONSENT CALENDAR:

1. Nine Rounds Residence (EM), 9 Rounds Rd., PL-2023-0554

With no call ups, the Consent Calendar was approved as presented.

Mr. Gerard: The exterior lighting shown seems appropriate, is the applicant planning for additional exterior can lighting? (Applicant, Tim Gerkin, Rooted Architects: There may be additional can lights proposed on the exterior living areas above covered decks.) I would encourage that the switches be wired so that one switch doesn't illuminate many exterior lights.

WORK SESSIONS:

1. Vestibules in Conservation District

Mr. Truckey presented examples of temporary exterior vestibules in the Conservation District. The following specific questions were asked of the Commission:

1. Does the Commission believe that the use of temporary vestibules on historic structures during the winter months is something that might be acceptable?
2. Does the Commission agree with staff's interpretation that permanently constructed exterior vestibules can be permitted on new or existing non-historic buildings, with the exception of the Core Commercial Area?
3. Does the Commission believe that temporary exterior vestibules on non-historic buildings are appropriate?
4. Does the Commission support waiving density requirements for exterior vestibules?
5. Does the Commission have other comments?

Commissioner Questions / Comments:

Mr. Frechter: These temporary vestibules were put up during COVID? Were they put up because of non-enforcement or to help with preventing spread of disease? (Mr. Truckey: I think many were put up during the pandemic due to non-enforcement and the temporary Manager's order allowing temporary structures.)

Ms. Propper: What are the barriers to installing the air curtains in commercial buildings? (Mr. Truckey: I am not sure, and it may be specific to each building and ceiling allowance.)

Mr. Giller: Air curtains are very noisy.

- Mr. Leas: Most newer buildings have radiant floor heating. Older commercial buildings in this historic district may have forced air heating. You lose a lot more energy with forced air heating through the front door. Newer construction with radiant floor heating may have less of an issue with this problem of needing an airlock to keep heat from escaping.
- Ms. Propper: Can air curtains be used on historic structures? (Mr. Truckey: Yes, they are installed on the interior.) Some restaurants have heavy fabric curtains to block air. Is this something we would encourage? (Mr. Truckey: Yes, that is something that could be encouraged, as long as there is no issue with building codes.)
- Ms. Gort: Some of these materials look plastic and flammable. Is this a safety concern? (Mr. Truckey: We would only allow materials that meet building code.)
- Mr. Guerra: This is a sustainability concern. The air curtains would seem to use more energy than they save. If we were to allow temporary vestibules, we would want to limit material, size, and use. The pictures show a diversity of appearance, with some vestibules looking better than other examples.
- Mr. Truckey: We could limit the size to be small enough to limit the use to only a weather barrier and not to be for added restaurant space.
- Mr. Guerra: We would have to give deference to the differing sizes of building entries. I agree with the sustainability and functionality side of allowing these but see some rabbit holes we could fall down.
- Mr. Giller: The Tin Plate example actually shows two enclosed plastic vestibules. Can the Staff speak to that? (Mr. Kulick: There is one located on their front entry and to the north they have enclosed their side porch. Ms. Muncy: The front temporary structure is used for patrons to wait for to-go orders.) I think these solutions on historic buildings should be interior as the first choice. I worry these could be real-estate grabs to expand floor area.
- Mr. Gerard: I would not have pity for any businesses who constructed these without a permit.
- Ms. Gort: Could we consider points in the code for doing something else to allow these vestibules?
- Mr. Leas: With regard to density, I think this needs to be solved internally. These factors are known when opening a business and this is a cost of doing business. I don't agree with that argument from business owners. We need to discuss this in the same way as we consider solar panels on the front of buildings. We want to balance sustainability with the historic nature and character of Breckenridge. The historic character needs to win out in this case. They are making interior air curtains work in other places like Aspen. There are ways of installing them without building an interior vestibule. This is a business decision. This tends to be a restaurant issue. You will notice retail stores in the winter with doors even propped open.
- Mr. Truckey: Staff is not strongly advocating for this one way or another. We will bring your concerns to Town Council and they will discuss it as well.
- Ms. Propper: I would prefer an interior solution.

Question 1

- Ms. Propper: No.
- Mr. Guerra: No.
- Mr. Giller: In general, I think the interior should be first choice, in rare occasions it might be okay.
- Mr. Gerard: No.
- Ms. Gort: No generally, but maybe special circumstances they could be allowed, like on a side entrance.
- Mr. Frechter: No, except for special circumstances, perhaps there is a prioritized list like with solar panels in the Historic District, where they could be a last priority.
- Mr. Leas: No.

Question 2

- Ms. Propper: Yes.
- Mr. Guerra: Yes, if the design meets all applicable codes and design standards already in place.
- Mr. Giller: Yes, more flexibility on non-historic structures. But we should only allow them on the interior.
- Mr. Gerard: Yes, if it was contained within the design footprint of the building. It should not project from the front of the building.
- Ms. Gort: Yes, on new buildings, no on existing, maybe on a limited situation when it is not in the front.
- Mr. Frechter: It should be a permanent structure that meets existing building and design codes.
- Mr. Leas: I agree with Frechter. These should be promoted on the interior of the building. If on the exterior, it should be looked at against the design standards and determined to be appropriate for the building.

Question 3

- Ms. Propper: There should be an interior solution.
- Mr. Guerra: I am hesitant to support any temporary exterior vestibules.
- Mr. Giller: I agree with Guerra, the first solution is interior. I don't support it on the exterior of a contemporary building. To attach a temporary awning or tent detracts from the architecture of the building.
- Mr. Gerard: No.
- Ms. Gort: No.
- Mr. Frechter: No.
- Mr. Leas: No.

Question 4

- Ms. Propper: Yes, I would be open to that.
- Mr. Guerra: This is an issue for new buildings. I would consider waiving density with strong requirements to limit the size and use and it should be primarily for sustainability reasons. I would not waive density for exterior vestibules on existing buildings.
- Mr. Giller: No. We have worked to reduce bonuses in projects for mass and density. I think it would be a mistake to allow additional density now.
- Mr. Leas: Agreed, we need to be consistent on the issue of density.
- Mr. Gerard: I do not support waiving density.
- Ms. Gort: I would not support exterior density waiving. I would support waiving density for interior vestibules.
- Mr. Frechter: No.
- Mr. Leas: I am not in favor of waiving density for this issue.
- Ms. Propper: The point raised by Kulick for new construction, I would be in favor of waiving density on the interior.
- Mr. Guerra: I meant my previous comment to apply to new construction. I would be open to the conversation for allowing waiving density for interior vestibules on new construction in the name of sustainability.
- Mr. Giller: I think the appropriate way to do that is to tweak the current energy code. We should incentivize a vestibule in the energy code.
- Mr. Guerra: Where that energy code model doesn't work is for a commercial business where the door opens routinely. How does that get evaluated?
- Mr. Leas: The sustainability point does belong in the energy code rather than in the density portion of the code.

- Mr. Kulick: There is not a way to model for the scenario of a commercial business with the door open all the time. When energy use is modeled there is an assumption of a closed building envelope. This could appropriately be in Policy 33R Energy Conservation.
- Mr. Guerra: I don't see how this is a question for the energy code. The question is, "do we want to waive density for vestibules?"
- Mr. Gerard: I will begin with the assumption that an interior vestibule does save a certain amount of energy. The energy code is the place it should be addressed. We could incentivize it with a positive point for interior vestibules instead of waiving density.
- Ms. Gort: I am going to support waiving density. There are other benefits other than saving energy, such as patron comfortability. I think a limited vestibule with limited use.
- Mr. Frechter: I do not support waiving density. If we are over-ruled, I think it has to be a limited use with very defined parameters for space and use and doesn't become service space.
- Mr. Leas: I have no support for waiving density for vestibules on new construction.

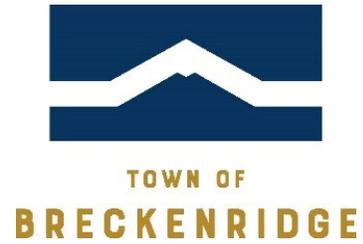
OTHER MATTERS:

1. Town Council Summary

ADJOURNMENT:

The meeting was adjourned at 6:52 pm.

Mark Leas, Chair



Memo

To: Breckenridge Town Council
From: Tracey Lambert, Senior Accountant
Date: December 6th, 2023 (for the December 12th meeting)
Subject: 2023 Supplemental Budget Appropriation

The Town Council approves a budget each year. From time to time, it is necessary to make changes to the budget as circumstances necessitate. This appropriation is being submitted based upon review of November year to date actuals and December projections by Fund. Any Fund with expenses over the 2023 Adopted Budget is included in this appropriation.

Please find below the ordinance appropriating the funds required for the Adopted Budget 2023. The ordinance is submitted for first reading.

FUND	REVENUE	EXPENSE	RESTRICTIONS	NOTES
HEALTHCARE BENEFITS #18		\$750,000		Expense: \$750,000: Anticipated UMR payments for variable medical costs
PARKING & TRANSPORTATION #17		\$500,000		Expense: \$500,000: Interstate Parking Management fees-increase due to budgeting error
SPECIAL PROJECTS #13		\$121,000		Expense: \$100,000: Summit County Rescue grant Expense: \$21,000: Breck Create Paley Sculpture repair
AFFORDABLE HOUSING FUND #7	(\$338,192)	\$3,734,249	(\$3,396,057)	Revenue: \$338,192: Excise Fund transfer to offset Expense and Restriction changes Expense: \$300,000: Housing Helps-Summit County reimbursement recognized as revenue Expense: \$1,600,000: Stables-Timing budgeted in 2024 Expense: \$1,834,249: Reclass Assets Held for Resale for units with no intention of selling Restriction: (\$1,834,249): Reclass Assets Held for Resale for units with no intention of selling Restriction: \$3,555,679: Assets Held for Resale units with planned sell date of 2024 Restriction: (\$1,000,728): Alta Verde I loan update of DOLA grant payment Restriction: (\$4,061,218): Alta Verde II loan payments budgeted in 2024 Restriction: (\$55,541): Pinewood 2 loan principal payment
EXCISE FUND #6		\$338,192		Expense: \$338,192: Affordable Housing transfer to offset Expense and Restriction changes
GOLF #5		\$50,000		Expense: \$50,000: Pro shop merchandise
TOTAL	\$ (338,192)	\$ 5,493,441	\$ (3,396,057)	

COUNCIL BILL NO. XX

Series 2023

AN ORDINANCE OF THE TOWN OF BRECKENRIDGE SETTING FORTH THE ANNUAL SUPPLEMENTAL APPROPRIATION FOR THE FISCAL YEAR BEGINNING JANUARY 1, 2023, AND ENDING DECEMBER 31, 2023

WHEREAS, at the direction of the Town of Breckenridge Council, the Town Manager has prepared and submitted a proposed budget for the fiscal year beginning January 1, 2023, and ending December 31, 2023, to the Town Council; and

WHEREAS, in accordance with the municipal charter, § 5.8, the Town Council hereby appropriates to the various funds as hereinafter stated to be used for the purpose for which these funds were created and exist.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF BRECKENRIDGE THAT:

1. Town Council hereby approves the ordinance appropriating supplemental expenditure of the Town of Breckenridge for the year beginning January 1, 2023, and ending December 31, 2023, to the various funds as hereinafter stated to be used for the purpose for which these funds were created and exist.

FUND	REVENUE	EXPENSE	RESTRICTIONS
HEALTHCARE BENEFITS FUND #18		\$750,000	
PARKING & TRANSPORTATION FUND #17		\$500,000	
SPECIAL PROJECTS FUND #13		\$121,000	
AFFORDABLE HOUSING FUND #7	(\$338,192)	\$3,734,249	(\$3,396,057)
EXCISE FUND #6		\$338,192	
GOLF FUND #5		\$50,000	
TOTAL	(\$338,192)	\$5,493,441	(\$3,396,057)

2. The amounts set forth above and in the annual budget of 2023 as approved by Resolution No. _____, Series of 2023, are hereby appropriated to the uses stated and the Town Manager has the authority to expend the amounts shown for the purposes stated.

3. This ordinance shall be published and become effective as provided by Section 5.9 of the Breckenridge Town Charter.

INTRODUCED, READ ON FIRST READING, APPROVED AND ORDERED
PUBLISHED IN FULL this 12th day of December 2023.

ATTEST:

TOWN OF BRECKENRIDGE

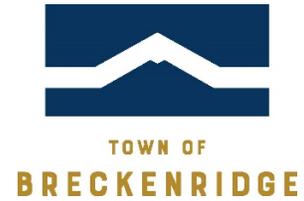
Helen Cospolich, Town Clerk

Eric Mamula, Mayor

APPROVED IN FORM

Town Attorney

Date



Memo

To: Town Council
From: Scott Reid, Deputy Town Manager
Date: 12/4/2023 (for 12/12/23 Town Council meeting)
Subject: Ordinance to Approve USBank Lease Renewal (First Reading)

USBank is a reliable tenant in good standing seeking to renew their lease in the Breckenridge Professional Building. Per Town Code, a lease renewal for a duration of more than one year must be approved by ordinance.

Attached, please find the ordinance approving the Fourth Amendment to the USBank lease, which would renew the lease for two years (June 1, 2024 – May 31, 2026) with an annual cost escalation as outlined in the ordinance. USBank will also have the option to extend the lease term once for a period of one (1) year. All other lease provisions are proposed to remain the same, including Section 2 in which "Operational Costs" (including common area maintenance and insurance) are prorated based on the square footage of the leased space.

Staff will be available Tuesday to answer any questions about this lease renewal.

COUNCIL BILL NO. __

Series 2023

AN ORDINANCE APPROVING AN AMENDMENT TO A LEASE OF THE BRECKENRIDGE PROFESSIONAL BUILDING.

WHEREAS, the Town owns the real property commonly known as the Breckenridge Professional Building (“Professional Building”) located at 130 Ski Hill Road, Breckenridge, Colorado;

WHEREAS, the Town has leased the Professional Building to U.S. Bank National Association (“U.S. Bank”) in a Lease Agreement dated May 7, 1997, which has been amended as follows: First Amendment to Lease dated November 28, 2006, Second Amendment to Lease dated April 19, 2013, and Third Amendment to Lease dated November 25, 2020 (collectively, the “Lease”);

WHEREAS, the Town Council desires to approve a fourth amendment to the Lease with U.S. Bank for a term of two years and further grants U.S. Bank an option to extend the term of the Lease for an additional one (1) year period;

WHEREAS, Section 1-11-4 of the Breckenridge Town Code requires that leases of Town real property longer than one year must be approved and authorized by ordinance;

WHEREAS, in the event U.S. Bank exercises its option to renew the lease for an additional one-year period, the Town Manager is authorized to execute an amendment upon the terms and conditions set forth in the Fourth Amendment to the lease.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF BRECKENRIDGE, COLORADO:

Section 1. Town Council hereby approves the Fourth Amendment to the lease between the Town of Breckenridge and U.S. Bank National Association, a copy of which is attached hereto as **Exhibit A**.

Section 2. This ordinance shall be published and become effective as provided by Section 5.9 of the Breckenridge Town Charter.

INTRODUCED, READ ON FIRST READING, APPROVED AND ORDERED PUBLISHED IN FULL this 12th day of December 2023. A Public Hearing shall be held at the regular meeting of the Town Council of the Town of Breckenridge, Colorado on the ___ day of _____, 2024, at 7:00 P.M., or as soon thereafter as possible in the Municipal Building of the Town.

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21

TOWN OF BRECKENRIDGE, a Colorado
municipal corporation

By: _____
Eric S. Mamula, Mayor

ATTEST:

Helen Cospolich, CMC,
Town Clerk

FOURTH AMENDMENT TO LEASE

THIS FOURTH AMENDMENT TO LEASE (the “Amendment”) is made as of _____, 2023, between the **Town of Breckenridge**, as successor in interest to Breckenridge Professional Building, LLC (“Landlord”) and **U.S. Bank National Association**, a national banking association (“Tenant”).

- A. Pursuant to the Lease Agreement dated as of May 7, 1997, First Amendment to Lease dated November 28, 2006, Second Amendment to Lease dated April 19, 2013, and Third Amendment to Lease dated November 25, 2020 (collectively, the “Lease”), Landlord leased to Tenant approximately 1,892 square feet of space in the Breckenridge Professional Building located at 130 Ski Hill Road, Breckenridge, Colorado, 80424, as more particularly described in the Lease (the “Premises”).
- B. Landlord and Tenant desire to amend the Lease to alter certain provisions thereof on the terms and conditions hereinafter set forth.

NOW, THEREFORE, for valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Landlord and Tenant agree as follows:

- 1. **Lease Term.**
 - a. The Lease Term is hereby extended for a period of two (2) years commencing on June 1, 2024, and expiring on May 31, 2026 (the “Fourth Amendment Term”).
 - b. Tenant shall have one (1) option to extend the Lease Term for a period of one (1) year. In order to exercise the option, Tenant shall give Landlord written notice not less than six (6) months prior to the end of the then current term. All terms and conditions shall remain the same during the extension term, with the exception of base rent which shall be as set forth in Section 3 below.
- 2. **Premises.** The parties agree that the Premises and the Building have been remeasured, and that effective as of June 1, 2024:
 - a. the Premises shall be deemed to contain 1,918 rentable square feet,
 - b. the Building shall be deemed to contain 17,489 rentable square feet.
 - c. Tenant’s Fraction of Operating Costs shall remain at 11%.
- 3. **Minimum Rent:** The Minimum Rent payable for the Second Amendment Term shall be payable as follows:

<u>Period</u>	<u>Monthly Minimum Rent</u>
06.01.2024 – 05.31.2025	\$5,434.33
06.01.2025 – 05.31.2026	\$5,597.36
06.01.2026 – 05.31.2027*	\$5,765.28

*if exercised pursuant to Section 1(b) above.

4. **Authority.** Landlord and Tenant each represents and warrants that it has all the necessary approvals and authority to enter into this Amendment and shall indemnify and hold each other harmless for any breach of this representation and warranty.

5. **No Existing Defaults.** Landlord and Tenant represent that there are currently no defaults by either party under the Lease.

6. **Counterparts.** This Amendment may be executed in two or more identical counterparts and delivered by facsimile or by .pdf or other comparable electronic format, with the same force and effect as if all required signatures were contained in a single, original instrument.

7. **Ratification.** All of the terms of the Lease, as amended hereby, are hereby ratified and confirmed.

8. **Defined Terms.** Unless otherwise stated, all capitalized words in this Amendment that are not normally capitalized shall have the meaning ascribed in the Lease.

[Remainder of page intentionally left blank. Signature page follows.]

WHEREFORE, Landlord and Tenant have executed this Amendment as of the date first above written.

LANDLORD:

Town of Breckenridge

By: _____
Print Name: _____
Title: _____

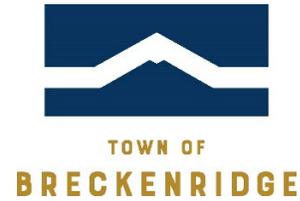
ATTEST:

By: _____
Print Name: _____
Title: _____

TENANT:

U.S. Bank National Association

By: _____
Print Name: _____
Title: _____



Memo

To: Breckenridge Town Council Members
From: Shannon Haynes, Deputy Town Manager
Date: 12/7/2023
Subject: Proposed Charter Amendment – Election Commissioner Terms

Section 3.5 of Town Charter requires the Council to appoint two electors to serve as Election Commissioners. This appointment is to take place every two (2) years in May, after the regular municipal election. The Town Clerk serves as the Chair of the Election Commission. The purpose of the Election Commission is to oversee the conduct of Town elections. The Election Commission will provide for ballots and sample ballots, voting machines or electronic voting equipment for determination of the winner by lot in the event of a tie vote, for canvass of returns and for the issuance of appropriate certificates. It will also provide procedures to establish proof of residency qualification where residency is in question.

This Council Bill proposes amending the Charter to set each Election Commissioner term at four (4) years. By extending the term length from two (2) to four (4) years, the Election Commissioners will be able to exercise valuable experience and knowledge over multiple election cycles.

This bill would set the Charter amendment question and ballot title for the April 2, 2024 Regular Municipal Election. A majority vote by the Town's registered electors is required to adopt the revised proposed charter amendment.

FOR AN ORDINANCE SUBMITTING TO A VOTE OF THE REGISTERED ELECTORS OF THE TOWN OF BRECKENRIDGE AT A REGULAR MUNICIPAL ELECTION TO BE HELD ON APRIL 2, 2024, A PROPOSED AMENDMENT TO THE CHARTER OF THE TOWN OF BRECKENRIDGE TO LENGTHEN THE TERM OF ELECTION COMMISSIONERS FROM TWO YEARS TO FOUR YEARS.

WHEREAS, election commissioners fill an essential role in the Town of Breckenridge municipal election process;

WHEREAS, there is a need to have commissioners who have experience and understanding of the election process; and,

WHEREAS, lengthening the term of election commissioners would allow for appointees to serve two election cycles.

BE IT ENACTED BY THE TOWN COUNCIL OF THE TOWN OF BRECKENRIDGE:

Section 1. There is hereby submitted to the registered electors of the Town of Breckenridge for their approval or rejection at a regular municipal election to be held on April 2, 2024, a proposed amendment to the Charter of the Town of Breckenridge, as follows:

Effective upon publication and filing with the Secretary of State in accordance with the Constitution and laws of the State of Colorado, the following section of the Charter of the Town of Breckenridge is amended to read as follows:

Section 3.5

ELECTION COMMISSION:

An election commission is hereby created, consisting of the town clerk and two electors of the town. Neither of the two electors during their term of office shall be town officers or employees or candidates or nominees for elective town office. These two electors shall be appointed by the council in May following a regular town election, for a term of ~~two~~ four ~~(2)~~ (4) years and shall serve without compensation.

The town clerk shall be chairman of the election commission. The election commission shall have charge of all activities and duties required of it by statute and this charter relating to the

1 conduct of elections in the town. In any case where election procedure is in doubt, the election
2 commission shall prescribe the procedure to be followed.

3
4 The commission shall provide procedures to establish proof of residency qualification where
5 residency is in question. Upon a showing for good cause, the election commission may require
6 proof of residency by any person registered to vote or attempting to register to vote in the town
7 of Breckenridge. Said person shall not be qualified to vote in any municipal election until the
8 election commission is satisfied that he has presented sufficient proof of residency as required
9 by statute or ordinance adopted pursuant to this charter.

10
11 The election commission shall provide for ballots and sample ballots, voting machines or
12 electronic voting equipment for determination of the winner by lot in the event of a tie vote, for
13 canvass of returns and for the issuance of appropriate certificates.

14 **Section 2.** The ballot shall contain the following title and submission clause:

15
16 **REFERRED QUESTION _____**

17
18 **Shall section 3.5 of the Charter of the Town of Breckenridge be amended to**
19 **lengthen the term of election commissioners from two years to four years?**

20
21 **Section 3.** The proper officials of the Town of Breckenridge as charged with duties
22 relating to the election shall, before the election, issue such calls, make such certifications and
23 publications, give such notices, make such appointments, and do all such other acts and things
24 in connection with the submission of this Charter amendment to the registered electors of the
25 Town of Breckenridge at the election as are required by the Constitution and laws of the State
26 of Colorado and the Charter and ordinances of the Town of Breckenridge.

27 **Section 4.** The ballots cast at such election shall be canvassed and the results
28 ascertained, determined, and certified in accordance with the requirements of the Constitution
29 and laws of the State of Colorado and the Charter and ordinances of the Town of Breckenridge.

30 **Section 5.** If any section, paragraph, clause, or other portion of this ordinance is
31 held to be invalid or unenforceable for any reason, the validity of the remaining portions of this
32 ordinance shall not be affected.



Memo

To: Town Council
From: Kirsten J. Crawford, Town Attorney
Date: December 12, 2023
Subject: Charter Amendment for Criteria for Appointment to Permanent Boards and Commissions

The Council is presented with a bill for an ordinance amending section 9.5 of the Charter that limits appointment to permanent boards and commissions solely to residents and electors of the Town. The bill also fixes section 9.2 of the Charter as the criteria for the Planning Commission and Election Commission will not be altered by this amendment both of which require appointees to be residents and electors. This bill would set the Charter question and ballot title for the April 2, 2024, regular municipal election. A majority vote by the Town’s registered electors is required to adopt the revised proposed Charter amendment.

Staff has determined that there are challenges with recruitment of diverse candidates to be considered for appointment to Town boards and commissions, specifically to the Town advisory boards including Breckenridge Social Equity Advisory Commission, Breckenridge Childcare Advisory Commission and Breckenridge Events Committee. Staff has further determined that there are benefits to including nearby residents on these boards as they are impacted by the Town’s programs. Thus, staff proposes that the Charter be amended to delete that limitation in the Charter. If the measure passes, staff will present Council with a proposed municipal code amendment establishing the criteria for appointment to these three permanent boards and commissions.

The proposed amendment to sections 9.2 and 9.5 of the Charter will not alter or amend the requirements for appointment to Charter established boards such as Planning Commission and the Election Commission.

Further, staff does not recommend Council change the qualifications for the boards existing in the municipal code, including the Breckenridge open space advisory commission (see §2-4-2) and the liquor and marijuana and licensing authority (see § 2-5-3) which both require that appointees be residents and electors of the Town. Staff believes that a broader pool of will improve recruitment, retention, and promote diversity in Town boards and commissions.

1 COUNCIL BILL NO. ____

2 Series ____

3
4 **FOR AN ORDINANCE SUBMITTING TO A VOTE OF THE REGISTERED**
5 **ELECTORS OF THE TOWN OF BRECKENRIDGE AT A REGULAR MUNICIPAL**
6 **ELECTION TO BE HELD ON APRIL 2, 2024, A PROPOSED AMENDMENT TO**
7 **THE CHARTER OF THE TOWN OF BRECKENRIDGE TO REMOVE THE**
8 **RESIDENCY AND ELECTOR REQUIREMENT FOR MEMBERSHIP ON**
9 **PERMANENT BOARDS AND COMMISSIONS.**

10
11 WHEREAS, recruitment of diverse candidates to be considered for appointment to
12 Town boards and commissions can be challenging, specifically to the Town advisory boards
13 including Breckenridge Social Equity Advisory Commission, Breckenridge Childcare Advisory
14 Commission and Breckenridge Events Committee;

15 WHEREAS, there is a rational basis for amending the Charter, section 9.5, to broaden
16 the pool of candidates for permanent boards and commissions to include, not only residents
17 and electors of the Town, but also non-residents who are living or working within the Town of
18 Breckenridge municipal boundaries;

19 WHEREAS, the proposed amendment to section 9.5 of the Charter will not alter or
20 amend the requirements for existing boards and/or commissions established in the Charter;

21 BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF BRECKENRIDGE,
22 COLORADO:

23 **Section 1.** There is hereby submitted to the registered electors of the Town of
24 Breckenridge for their approval or rejection at a regular municipal election to be held on April
25 2, 2024, a proposed amendment to the Charter of the Town of Breckenridge, as follows:

26
27 **Effective upon publication and filing with the Secretary of State in accordance with**
28 **the Constitution and laws of the State of Colorado, the following sections of the**
29 **Charter of the Town of Breckenridge are amended to read as follows:**

30 Section 9.2

31 COMPOSITION OF BOARDS AND COMMISSIONS:

32 The following shall apply to the composition of all existing permanent boards and commissions
33 and those created by this charter or subsequently by ordinance:

34 (a) Neither the mayor nor any town employees shall serve on any such board or commission.

1 (b) No board or commission shall have more than one council member appointed to serve on
2 such board or commission.

3 (c) Terms and conditions of appointment to such boards and commissions shall be determined
4 by ordinance, except as ~~provided in section 9.3 regarding the planning commission~~ otherwise
5 provided in this charter.

6 Section 9.5 RIGHT TO ESTABLISH:

7 In addition to those boards and commissions heretofore created by ordinance or this charter,
8 council shall have the power and authority to create boards and commissions, including
9 advisory and appeal boards. All permanent boards and commissions, including advisory and
10 appeal boards, shall be created by ordinance, which shall set forth the number of members,
11 the eligibility of members, and the powers and duties delegated to such boards and
12 commissions. ~~Members shall be residents and electors of the town.~~ Initial appointments by
13 the council to any board or commission shall specify the term of office of its members in order
14 to achieve overlapping tenure. All members shall be subject to removal by the council. Each
15 board and commission shall elect its own chairman and vice-chairman from among its
16 members. Each board and commission shall operate in accordance with its own rules of
17 procedure and its meetings shall be open to the public. Any board or commission created
18 under this article which is not required by statute or this charter may be abolished by the
19 council.

20 **Section 2.** The ballot shall contain the following title and submission clause:

21

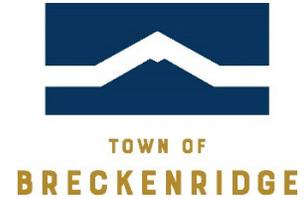
22 **REFERRED QUESTION _____**

23

24 **Shall sections 9.2 and 9.5 of the Charter of the Town of Breckenridge be**
25 **amended to remove the requirement that appointees to permanent boards**
26 **and commissions be electors and residents thereby allowing Council to**
27 **create criteria for appointment by ordinance?**

28

29 **Section 3.** The proper officials of the Town of Breckenridge as charged with duties
30 relating to the election shall, before the election, issue such calls, make such certifications and
31 publications, give such notices, make such appointments, and do all such other acts and things
32 in connection with the submission of this Charter amendment to the registered electors of the
33 Town of Breckenridge at the election as are required by the Constitution and laws of the State
34 of Colorado and the Charter and ordinances of the Town of Breckenridge.



Memo

To: Town Council
From: Town Attorney
Date: December 12, 2023
Subject: Compensation of Municipal Prosecutor

The Town Attorney is requesting that Council approve the continued service of Bob Gregory in 2024 and is recommending a 5% increase in his hourly rate as set forth in the attached resolution.

Per the Town of Breckenridge Charter, Article VIII, the Town Council has the authority to approve assistants to the Town Attorney and must establish the compensation of any such assistants. With respect to the Town Attorney's duty as the legal representative of the Town, the Town Attorney oversees the prosecution of both criminal and noncriminal infractions. Historically, the Town Council has provided the Town Attorney with one assistant who performs the function of municipal prosecution.

1 RESOLUTION NO. XX

2
3 SERIES 2023

4
5
6 **A RESOLUTION PROVIDING TOWN ATTORNEY ASSISTANT FOR**
7 **MUNICIPAL PROSECUTION AND ESTABLISHING RATES**

8
9
10 WHEREAS, the Town Charter, Article VIII, entitled Legal and Judiciary, Section 8.1,
11 provides, among other things, that the Town Attorney shall serve as the legal representative of
12 the Town;

13
14 WHEREAS, the Town Charter further states that the Town Council must approve any
15 assistants of the Town Attorney and establish their compensation;

16
17 WHEREAS, the Town Council has deemed it necessary for the Town Attorney to be
18 provided an assistant attorney to represent the Town in municipal prosecution of criminal and
19 noncriminal infractions ("Municipal Prosecutor");

20
21 WHEREAS, the Municipal Prosecutor shall further provide prosecutorial services for
22 disciplinary actions against liquor licensees before the Town of Breckenridge Liquor Licensing
23 Authority and to prosecute disciplinary actions against marijuana licensees before the Town of
24 Breckenridge Marijuana Licensing Authority;

25
26 WHEREAS, the Town of Breckenridge approves the continued retention of WEST
27 HUNTLEY GREGORY PC for 2024.

28
29 NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF
30 BRECKENRIDGE, COLORADO:

31
32 **Section 1.** The Town Council hereby provides for a municipal prosecutor under
33 the terms of conditions established in the Agreement attached hereto.

34
35 **Section 2.** The Town Council hereby establishes the hourly rate of \$148.69 of the
36 Town Prosecutor.

37
38
39
40 RESOLUTION ADOPTED AND APPROVED this 12th day of December 2023.

41
42
43 ATTEST:

TOWN OF BRECKENRIDGE

44
45
46 _____
47 Helen J. Cospolich, CMC, Town Clerk

Eric S. Mamula, Mayor

48
49
50 APPROVED IN FORM

51
52
53 _____
54 Town Attorney Date

MUNICIPAL COURT PROSECUTOR AGREEMENT

This Agreement ("Agreement") is made and entered into this 12th day of December, 2023, by and between the TOWN OF BRECKENRIDGE, a Colorado municipal corporation ("Town") and WEST HUNTLEY GREGORY P.C., a Colorado professional corporation ("Prosecutors").

The Town Attorney does hereby retain West Huntley, Gregory to act as the prosecutor in the Town's Municipal Court ("Prosecutors") for the period commencing January 1, 2024 and ending December 31, 2024. The Prosecutors shall perform the services as more fully described in Paragraph 3 of this Agreement.

1. The Prosecutor accepts agrees to perform the duties required of it as Prosecutor in a competent and professional manner.

2. The Prosecutor is retained to, and shall perform, the following duties:

A. Prosecute all matters brought in the Town's Municipal Court ("Municipal Court"), including having Robert Gregory, or another competent prosecuting attorney, appear on behalf of the Town in each session of the Municipal Court, which sessions are generally scheduled on the second and fourth Wednesday of each month, with additional sessions scheduled as required by the Municipal Court's schedule.

B. Unless otherwise requested by the Town Attorney, represent the Town in any appeals of Municipal Court matters.

C. Advise any Town officer, department head or staff member in matters relating to cases Prosecutors are handling or in cases pending before the Municipal Court.

D. Attend Town Council or other Town meetings when requested to do so by the Town Attorney.

E. Prosecute disciplinary actions against liquor licensees before the Town of Breckenridge Liquor Licensing Authority.

F. Prosecute disciplinary actions against marijuana licensees before the Town of Breckenridge Marijuana Licensing Authority.

3. As compensation for the services to be provided by the Prosecutors as set forth in Paragraph 3, the Town shall pay the Prosecutors the sum of One Hundred Forty Eight and 69/100 Dollars (\$148.69) per hour for each hour expended by the Prosecutors on matters related to the Municipal Court. Prosecutors shall also be reimbursed for all reasonable and necessary expenses which it may pay or incur on behalf of the Town in connection with Municipal Court matters including, but

not limited to, the cost of subpoenas, witness fees and photocopying costs incurred outside of Prosecutors' office, and in the event any of those expense are chargeable to any defendant, defense attorney, or other third party under the Colorado Municipal Court Rules of Procedure or through common custom, the Prosecutors agree to charge such amount to such third party, rather than seeking reimbursement for such items from the Town. It will occasionally be necessary and appropriate for the Prosecutors' paralegals or support staff to perform services on certain matters related to the Municipal Court rather than the Prosecutors, which shall be billed at a rate of Eighty Dollars (\$80.00) per hour. Computerized legal research services performed for the Town shall be billed to the Town at the same rate paid by the Prosecutors for such services, and the Town shall provide the Prosecutors with a portable laptop computer and remote access to court software. The Prosecutor shall submit to the Town Attorney on a monthly basis an itemized billing detailing all services performed for the Town during the preceding month. The Prosecutors' monthly statement for services rendered shall be mailed to the Town on or before the fifth day of each month and shall be paid by the Town not later than the 15th day of each month.

4. The Prosecutors shall not bill the Town for travel time to and from the Municipal Court. In the event that any other travel is required as part of Prosecutors' duties, such travel shall be billed at the hourly rate set forth above.

5. The Prosecutors shall at all times maintain professional liability insurance in an amount of not less than \$1,000,000.00 per claim/\$1,000,000.00 yearly aggregate.

6. The Prosecutors shall not be entitled to paid vacation, health benefits, sick leave or any other benefit paid, given or provided to Town employees; provided, however, Robert Gregory shall be granted an annual family Recreation Wellness Pass and an Employee Parking Pass.

7. The Prosecutors understand that (i) the Town will not pay or withhold any sum for income tax, unemployment insurance, Social Security or any other withholding pursuant to any law or requirement of any governmental body; (ii) Prosecutors are obligated to pay federal and state tax on any moneys earned pursuant to this Agreement; (iii) Prosecutors are not entitled to workers' compensation benefits from the Town or the Town's workers' compensation insurance carrier; and (iv) Prosecutors are not entitled to unemployment insurance benefits unless unemployment compensation coverage is provided by Prosecutors or some other entity. Prosecutors agree to indemnify and hold Town harmless from any liability resulting from Prosecutors' failure to pay or withhold state or federal taxes on the compensation paid hereunder.

The Prosecutors shall devote so much of the firm's time to the business of the Town as may be required to assure proper representation of the Town, but, subject only to the Colorado Rules of Professional Conduct, particularly Rule 1.7, the Prosecutors shall not be prevented from representing other clients which may have business with and against the Town, including, but not limited to, the Department of Community Development, the Planning Commission and the Town Council.

8. The Prosecutors understand and acknowledge that this Agreement may be terminated at any time by the Town Attorney or by action of the Town Council, without liability to the Prosecutors for breach, except liability for compensation due the Prosecutors for services performed prior to the termination, and without the need for either cause for the termination or a hearing.

9. If Prosecutors obtain actual knowledge that a subcontractor performing work under this

2022 MUNICIPAL COURT PROSECUTOR

FEE AGREEMENT

Page 2 of 4

Agreement knowingly employs or contracts with a worker without authorization, Prosecutors shall:

A. notify such subcontractor and the Town within three days that Prosecutors have actual knowledge that the subcontractor is employing or contracting with a worker without authorization; and

B. terminate the subcontract with the subcontractor if within three days of receiving the notice required pursuant to this section the subcontractor does not stop employing or contracting with a worker without authorization; except that Prosecutors shall not terminate the contract with the subcontractor if during such three days the subcontractor provides information to establish that the subcontractor has not knowingly employed or contracted with a worker without authorization.

Prosecutors shall comply with any reasonable request by the Colorado Department of Labor and Employment made in the course of an investigation that the Colorado Department of Labor and Employment undertakes or is undertaking pursuant to the authority established in Subsection 8-17.5-102 (5), C.R.S.

If Prosecutors violate any provision of this Agreement pertaining to the duties imposed by Subsection 8-17.5-102, C.R.S. or this Section 13, the Town may terminate this Agreement for a breach of the contract. If this Agreement is so terminated, Prosecutors shall be liable for actual and consequential damages to the Town.

10. In the event that Robert Gregory is unavailable to attend any Municipal Court session, the Prosecutors shall find a substitute prosecutor, with the approval of the Town Attorney.

IN WITNESS WHEREOF, the parties have executed this Agreement the day and year first written above.

ATTEST:

TOWN OF BRECKENRIDGE

Town Clerk

Town Attorney, Kirsten J. Crawford

WEST HUNTLEY GREGORY P.C.

By: Robert Gregory, Attorney

Memo

To: Breckenridge Town Council Members
 From: Town Staff
 Date: 12/6/2023 (for the 12/12/23 work session)
 Subject: Public Projects Update



Kingdom Park Ballfields Renovation

This update is a follow-up to the November 28th Council discussion regarding the proposed conversion of the Kingdom Park Ballfields from natural grass to artificial field turf and the ability for the new field to accommodate multiple sports such as soccer and lacrosse.

The attached image shows the intended line layout for soccer and lacrosse overlaid on the proposed new field turf for both the north and south ballfields. As drawn, the new south soccer and lacrosse field dimensions would be 300' x 180', or 54,000 square feet. The dimensions for the new north soccer and lacrosse field would be 260' x 135', or 35,100 square feet. By comparison, the existing soccer and lacrosse turf pitch field is 330' x 180', or 59,400 square feet.

	<p>ACADEMY SPORTS TURF 3740 S. JASON STREET ENGLEWOOD, CO 80110 P: 303-789-3172 F: 303-762-8190</p>										
	<p>Greenfields SPORTS TURF SYSTEMS KINGDOM PARK SYNTHETIC TURF FIELD</p>										
<p>Google Earth</p> <p>NOTE: SCALE IS ONLY ACCURATE WHEN THIS DRAWING IS PRINTED ON 24"X36" PAPER</p> <p>SCALE: 1" = 40'-0"</p>	<table border="1"> <tr> <td>DATE:</td> <td>ISSUED FOR:</td> </tr> <tr> <td>6/26/23</td> <td>RENDERING</td> </tr> <tr> <td>PROJECT NO:</td> <td>150</td> </tr> <tr> <td>DATE:</td> <td>5/11/23</td> </tr> <tr> <td>DRAWN BY:</td> <td>DMP</td> </tr> </table> <p style="text-align: center;">1 OF 3</p>	DATE:	ISSUED FOR:	6/26/23	RENDERING	PROJECT NO:	150	DATE:	5/11/23	DRAWN BY:	DMP
DATE:	ISSUED FOR:										
6/26/23	RENDERING										
PROJECT NO:	150										
DATE:	5/11/23										
DRAWN BY:	DMP										

We also plan to line endzones for flag football and ultimate frisbee on both fields. We continue to work with the various user groups to ensure that the fields are lined to maximize the playing space, meet their sports' general specifications, and offer the best possible playing surface. We also continue to coordinate with the Summit High School Baseball manager to meet their requests and CHSAA requirements.

Staff also evaluated the idea of expanding the geographic extent of both the North and South Kingdom Park Ballfields for this project, but quickly found that idea to be untenable due to topography, utilities, and cost. At a minimum, relocating and redesigning the recently replaced LED light poles and associated infrastructure would increase the project cost beyond Council's current guidance.

Does Council support staff's recommendation to turf both existing fields in their current configuration?

Staff will be present at the work session to answer additional questions on the project.

Blue River Pathways

Staff is currently working on many different aspects of the Blue River Pathways project. Norris Design is completing a draft master plan document to present to the Town Council in early 2024 for review and feedback. The Schoonover building will be de-constructed and the site cleared in May of 2024 with the Living Lab Bike Plaza being implemented upon completion.

Staff is also working with CDOT to finalize an RFP for consultant selection for the feasibility study and design of underpasses and pedestrian bridges in the project corridor. This project was funded at \$675,000 as a 50% grant match in 2023.

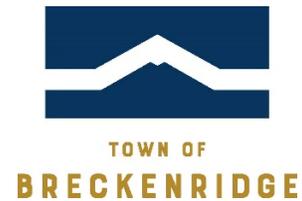
The Food & Beverage Delivery Center pilot program site options will be presented as a separate agenda item at the work session.

Asphalt and Concrete Repair

Staff is finalizing the asphalt conditions evaluation for our roadway system and will then select streets that will be included in the 2024 project. The project is anticipated to be bid in February 2024 and for construction to begin in May 2024.

McCain Access Road Construction

Construction documents for this project are being finalized by the design team for bidding in February 2024. Construction is anticipated throughout the summer of 2024.



Memo

To: Breckenridge Town Council Members
 From: Mobility Staff
 Date: 12/5/2023
 Subject: **Mobility Update**

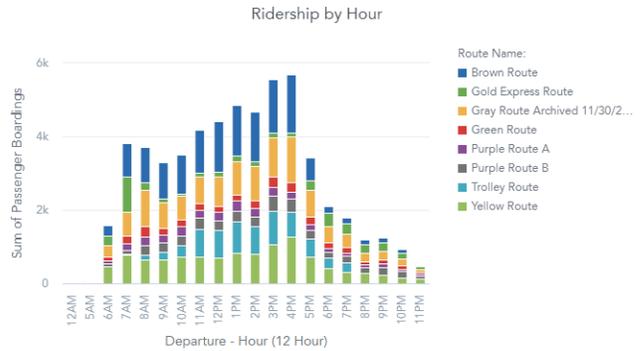
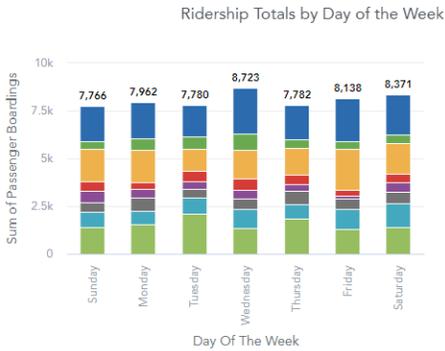
Transit

During the month of November, the Free Ride moved 56,522 passengers, a 73% increase over the month prior, but a 3% decrease from November 2022. One area of note is that the Free Ride operated the Gold Express the entire month of November in 2022 whereas in 2023, it was operated by BSR beginning November 10th. Not included in the above total number, the Ice Rink Express, operated by BSR began on November 17th and averaged 52 riders per day, for a total of 735 riders in November.

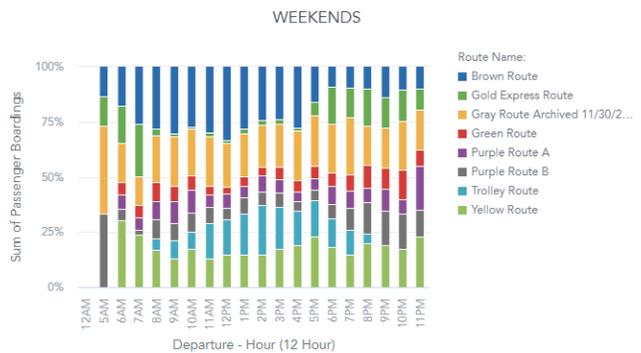
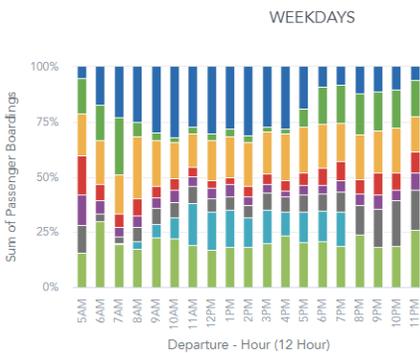
Route	November				YTD			
	Nov '23	Nov '22	+/-	%	2023	2022	+/-	%
Gold	3,885	9,952	-6,067	-61.0%	62,680	79,838	-17,158	-21.5%
Green	3,120	0	3,120	-	38,105	0	38,105	-
Brown	13,904	0	13,904	-	13,904	198,127	-184,223	-
Trolley	6,419	0	6,419	-	29,939	1,066	28,873	-
Purple A	2,972	4,101	-1,129	-27.5%	55,606	54,552	1,054	1.9%
Yellow	10,948	0	10,948	-	10,948	244,274	-233,326	-
Purple B	4,053	2,329	1,724	74.0%	40,372	31,467	8,905	28.3%
Gray	11,221	41,883	-30,662	-73.2%	500,015	211,344	288,671	136.6%
TOTALS	56,522	58,265	-1,743	-3.0%	751,569	820,668	-69,099	-8.4%

Below are ridership insight charts that show how ridership evolves throughout the week and how ridership demand changes based on time of day:

Ridership by Time of Day and Hour



Hourly Ridership by Route and Day Type



Transit Technology

Mobility staff are in the RFP process for a new mobile application that will better serve the community's needs. Staff is creating a small user working group to test one or two of the finalist applications and looks forward to making a recommendation on a new vendor that can meet our needs for the Breck Free Ride transit service but also could integrate with other mobility options in town, such as Breck Ski Resort Transportation, the Breck E-Ride, Snowstang, and the Summit Stage.

Currently, the MyFreeRide app is working as intended and showing all routes. We do have one or two buses that have specific hardware issues and may not always show on the application, but the Free Ride operations team is proud that our buses are running more than 95% on time.

November Traffic Count Data

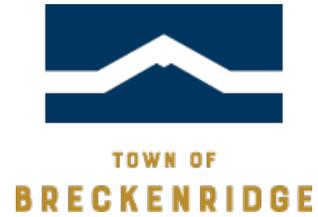
November traffic counts at the EJ Tunnel, Hwy 9/Tiger Rd, and Hwy9/River Park Dr counters all showed traffic counts that were slightly lower compared to November the previous year.

CDOT Eisenhower Tunnel, Average Daily Total Traffic Counts (EB & WB)												
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
2023	37290	39671	38648	31414	30132	37837	43623	39279	38860	33169	29571	
2022	35851	38394	38795	30636	29665	37365	41946	39936	39582	32790	30145	34528
2021	34470	35126	37618	31250	31204	39513	41774	35557	38799	32166	31015	34600
2020	37669	35303	23910	11390	21442	33539	40756	34938	36790	33901	26787	32224
2019	38244	36034	38436	31567	30318	37402	44100	41526	38335	33214	29141	34553
2018	36771	36596	38333	29045	29940	38818	43998	40649	38010	29761	30153	36008
2017	33269	36718	39162	31483	N/A	40217	44022	39719	35614	30216	29087	32690

CDOT Hwy 9 & Tiger Rd, Average Daily Total Traffic Counts (NB & SB)												
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
2023	25561	26129	25423	20266	17932	22107	26085	24365	23106	19796	18253	
2022	25343	26314	25528	19385	17755	22419	25576	25157	23340	20126	19542	23392
2021	23613	23681	24455	19981	18729	23885	26569	24052	22303	19357	19779	23740
2020	26091	24334	16206	8459	12873	20096	25398	24184	23870	21272	18851	22557
2019	26864	25558	25043	19475	17420	19707	22715	25287	23769	18932	19522	23106
2018	24454	23112	23746	17638	16681	21491	25586	23805	21848	17993	19613	24572
2017	22314	22238	22640	16863	15739	20133	23872	22365	20694	17736	17914	22213

Hwy 9/River Park Drive CDOT Average Daily Total Traffic Counts (NB & SB)*												
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
2023	9677	9770	9490	6945	6884	9139	11402	10178	9055	7810	7167	
2022	Not Available			6692	6947	9358	11132	10272	9763	7034	7525	9217

*Note: CDOT installed the River Park Dr counter in April 2022. On April 3rd, 2023, CDOT adjusted the counter to exclude counting vehicles turning in/out of River Park Dr, to get a more accurate count of through-traffic.



Memo

To: Town Council
From: Sustainability Staff
Date: 12/12/23
Subject: Sustainability Update

Plastic Pollution Reduction

Staff interviewed with 9News to be aired on New Year's day about the upcoming 2024 changes to plastics. We highlighted the work the Steven C. West Staff has done to improve recycling and work with their concessionaries on reusable cups. Staff also visited the Breckenridge Restaurant Association meeting on December 6th.

PAYT/URO

A reminder went out to all HOAs and businesses to apply for technical and financial assistance to help comply with upcoming Universal Recycling requirements. Additionally, we are beginning to receive invoices from haulers for any households that downsized their trash or added recycling carts. Staff will report on those numbers once we have a more complete picture for 2023.

Top 100 Story

Breckenridge has been nominated for a Green Destinations Story Award in the category Environment & Climate at the upcoming ITB Berlin travel trade show in March for our "More Boots and Bikes" Good Practice Story.

What are the Green Destinations Story Awards at ITB?

The Green Destinations Story Awards at ITB aims to celebrate and promote initiatives from destinations globally to share inspiring examples with all tourism stakeholders. Six Good Practice Stories from each of the categories of submission of the 2023 Green Destinations Top 100 Stories have been nominated for awards.

Nominations were based on the innovative character of the story, the effectiveness of the solution presented, and the value that the story presents to the global tourism community. All nominated destinations will be featured during the Green Destinations Story Awards.

The jury of international experts is now reviewing and ranking these stories, to identify the three finalists for each category. These three finalists will receive their awards (1st place, 2nd place and 3rd place) on stage during the Green Destinations Story Awards ceremony at the annual ITB conference in Berlin. If selected as a finalist, we will receive a notice at the beginning of January 2024.

For more information about Breckenridge's Good Practice Story, please visit <https://www.greendestinations.org/breckenridge-usa/>

Mountain IDEAL

The application for recertification is wrapping up with a deadline of December 15th for the desk audit. On-site interviews and site visits will be conducted January 29 - February 2.

Mountain Towns 2030

MT2030 announced the launch of the **MT2030 Climate Network**, an online platform dedicated to tackling the most challenging climate solutions.

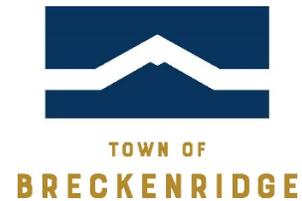
The Climate Network connects the mountain community and accelerates collective climate action by fostering communication and real-time collaboration. It's a platform for trading best practices, asking questions, mentoring others, and sharing helpful information with colleagues. The platform is accessible only to local government elected officials, staff and sustainability teams, ski resorts, local businesses, and nonprofit leaders.

It's an incredibly intuitive environment, very much like any other social media platform based on a collection of "spaces" - various rooms dedicated to enabling conversations on specific solutions where the power of this network can be leveraged to move us all forward.

Council should have received an invitation to join the Climate Network on December 4th. If you didn't get an invitation, [please contact MT2030](#)

Material Management

Staff has cleaned out a storage room full of household hazardous waste (HHW) at Public Works, successfully recycling over two tons of old paints, stains, adhesives, aerosols, and solvents. This material was collected by GreenSheen and Viola who are supported through the state-wide PaintCare program. HHW is collected at no cost and recycled into new materials. Free HHW recycling is available to residents at SCRAP year-round. Commercial loads should call ahead.



Memo

To: Breckenridge Town Council Members
From: Laurie Best, Housing Manager
Date: 12/6/2023
Subject: Non-Profit set aside for workforce housing units and Justice Center lease up

The Summit Foundation requested the Town explore a potential partnership to increase housing options for employees of local nonprofits. A copy of their initial proposal is attached. We reviewed the idea of a non-profit set aside (and/or some priority) with the internal housing group. There was some support for a pilot program because many of the local non-profits provide important services/programs in our community and the recent needs assessment suggested that lack of housing for essential workers (health care, behavioral health, public safety, teachers, etc.) posed significant risk to the community. Since we are preparing for the lease up of the Justice Center collaboration with the County and if there is Council support for this type of assistance for the non-profits, this might be a good project to implement a pilot program.

In addition, we also wanted to review the Justice Center lease up process and other project details. The BOCC also reviewed this project at their December 5th meeting, and this memo incorporates their input.

We expect the Justice Center will be ready for occupancy by March 1st. This may get pushed due to outstanding electrical, Xcel, and site grading issues, but it gives us a target date. The project includes 52 units consisting of 14 studios, 28 one bedroom, and 10 two bedroom. Pursuant to the Town/County IGA, this is a 50/50 collaboration with Summit County, and we have had several meetings with an internal project team that includes staff from the County, Mountain Dreamers, and the Town, including social equity staff. That internal team worked to establish a proposed lease up plan and general apartment rules and regulations. That group will meet again on December 13th to refine the details based on input from the Council and the BOCC. The current drafts of the lease up process and project details are attached for your review and comment. Key points are listed below.

General Justice Center Lease and Project Details:

- Project Name: The internal team identified several options for a name for this project. At their December 5th meeting the BOCC preferred “The Larkspur”. Staff supports this name.
- The project consists of:
 - 40 units available to general public
 - 6 units reserved for Town employees (transition units)
 - 6 units reserved for County employees
- The property is currently owned by the Town and County, but may be transferred to a new umbrella entity, similar to Huron Landing. When and if that entity is created, the ownership of this property and all other jointly owned apartments will be transferred to the new entity. We will provide updates when/if that concept moves forward.
- Recommended Rates/Parking/Debt Service:
 - 14 studios at 70% AMI (\$1,358)
 - 14 one bedroom units at 80% AMI-includes 12 County/Town units (\$1,663)*
 - 14 one bedroom units at 100% AMI (\$2,078)
 - 10 two bedroom units at 100% AMI (\$2,495)

*Note, the BOCC has asked about possibly splitting the Town/County units between the 80 and 100% pricing in order to make sure there are more lower priced one bedroom units available for the general public. Staff has no concerns with that recommendation. If the Council is supportive, we can report back to the County and modify the split of units.

- Rent includes utilities and one parking space for the studio and one bedroom units, and two parking spaces for two bedroom units.
 - There are 20 carports which are recommended at \$45/month.
 - While staff would prefer lower rates, it is estimated that the Town and County will each pay about \$318,000 annually to cover the operational expenses and debt service, so these recommended rates balance affordability with a long term subsidy.
- Does Council support “The Larkspur” as the project name?
 - Does Council support the recommended rental and parking rates?
 - Does Council support comprising the Town units of 80% and 100% AMI rentals to provide additional 80% AMI units to the public?

Lottery/Lease Up Timing and Process:

- Press release and outreach to be launched in mid-December.
 - The lottery enrollment period is tentatively scheduled for 1/1/2024 thru 1/10/2024.
 - The lottery is tentatively scheduled for 1/18/2024 (note all dates are estimates and subject to change based on construction progress).
 - The criteria for all tenants is 30 hours of employment in Summit County (no remote).
 - The County is still working with the State to clarify income testing. County staff believes that the \$2m grant obtained by the County, did not trigger mandatory income caps for the project which needs to be confirmed. If this is the case, then the only income testing will be the local process we establish.
 - We are recommending a priority for applicants at 70% and 80% AMI for the units priced at 70% and 80% rents. Town staff has requested a small buffer of 5-10% which still needs to be reviewed with the BOCC.
 - We are recommending an extra lottery entry for applicants who have lived/worked in Summit County for the last two years.
 - We are recommending an extra lottery ticket for applicants employed in Upper Blue Basin. The BOCC still needs to weigh in on this.
 - We are recommending the initial lease up focus on individuals. There are 495 people on the interested list so it is most likely that all units will be rented to individuals and we would not have to open the units to local businesses.
 - Staff supports a pilot program to assist non-profits and recommends 4-6 units be available to full time employees of local non-profits. The Summit Foundation can assist in determining which non-profits are eligible and how those non-profit units are identified and managed. The Summit Foundation would like the Town to include larger non-profits likely to provide essential services, but also human service, youth programs, mental health, and potentially arts organizations. Staff would recommend we continue to work with Summit Foundation to establish the parameters. This would also need to be vetted with the BOCC.
- Does Council agree priority should be offered to applicants at the 70% and 80% AMI ranges for units priced at those AMI levels, with a 5-10% income buffer?
 - Does Council support an extra lottery ticket for applicants who have lived/worked in Summit County for at least two years?
 - Does Council support an extra lottery ticket for applicants employed in the Upper Blue Basin?
 - Does Council support a pilot rental program consisting of 4-6 Justice Center units with eligible non-profits being identified and the program being managed by The Summit Foundation? The non-profit units would reduce the total number of units available to the general public.

Summary

Based on the number of people who have expressed interest in this project, we expect there will be considerable demand for these apartments and the number of applicants will far exceed the available units. It is important to establish the project and lottery details as soon as possible and to make sure the community has the information.

We are looking forward to your comments and feedback on the items listed above so we can move forward to finalize details with the County, work with our property manager, and release information and schedule to the public.



The Summit Foundation
Soul of the Summit

**PROPOSED COMMUNITY PARTNERSHIP
TOWN OF BRECKENRIDGE
NONPROFIT EMPLOYEE HOUSING**

PURPOSE

To explore a potential partnership between the Town of Breckenridge, the Summit Foundation (on behalf of local nonprofits), local lenders, and others to offer creative housing solutions for nonprofit employees.

BACKGROUND

Earlier this year, the Summit Foundation was approached by Seth Ehrlich from SOS Outreach to discuss the issue of scarce housing for our nonprofit employees and whether there were any creative solutions to this critical issue. The Foundation brought together Board members Nick Brinkman, Market President of FirstBank and Jack Wolfe, a prominent local real estate broker to discuss the issue. We agreed that there was potential for a creative collaboration and met with Laurie Best from the Town of Breckenridge to tap into her expertise. Laurie thought there might be potential to work with the Housing Committee and Town Council for a collaborative approach to assist nonprofits and their employees with innovative housing solutions.

ISSUE

Housing is a top issue for all employers, but it is of special concern for our local nonprofits. Nonprofits are the backbone of our community, providing critical safety net services for those in need and a myriad of other critical services such as childcare, healthcare including mental health, youth development, recreation, education services, quality of life programs such as environment and the arts, and much more.

Simply put, our community would not be the same without the services and programs provided by our local nonprofits.

Yet we are at a critical juncture. Nonprofit employees are notoriously low paid, and a recent salary survey conducted by the Summit Foundation confirmed that nonprofits are still paying a lower-than-average wage that does not align with our cost of living. Nonprofits cannot compete with private employers or government in salary, and due to the structure of nonprofits they often cannot afford to raise wages to what they should be. But nonprofit employees are highly committed to the mission and the impact they can make, and they have historically given up the higher pay in order to make a difference in their job and community.

One of the greatest threats to the ability of our nonprofits to meet their mission and provide critical programs now and in the future is the ability to host secure housing for primary team members.

Nonprofits can recruit and find people who believe in their missions and impact, however, access to stable housing is limiting their ability to achieve full staff capacity for effective program delivery and offering of critical community services and programs. Nonprofit workers are committed, dedicated people and they deserve to have stable and secure housing for themselves and their families in order to serve our community. We are at a critical juncture with our non-profits and are at risk of losing these essential-to-our-community services.

PROPOSAL

Nonprofits work in partnership with local and county government to meet the needs of all who live in our community, and in Summit County nonprofits are rounding out the services needed by our residents in order to thrive. Government and businesses have the capability of providing employee housing, but nonprofits generally do not have the resources, knowledge, or access to provide that opportunity. We would like to change that. We are proud of the collaboration that we have in this community between local government, private businesses and nonprofits to solve these issues together.

We propose that together we develop a pilot program that would be a creative solution to help local nonprofits provide critical housing for their employees. The partnership could include several different tiers of potential support including rental access, purchase assistance for employees, and a competitive loan program through a local lender for non-profits with the ability to purchase residential units.

We would like to work with the Town of Breck to consider a pilot program that could be replicated and expanded if successful. These ideas are to get the conversation started, and we would look to you for expertise and creativity on this issue, knowing that you are a leader in solving the workforce housing issues and willing to consider innovation.

Ideas might include (and not limited to):

- Set aside 25% of new units available for nonprofit employees to have ‘first right of refusal’
- A partnership where nonprofit employees have access to new construction
- Give nonprofits and their employees first notice on units available through Housing Helps
- Establish a creative lending program to allow nonprofits to purchase homes at terms more competitive than those available to the general public
- Modify the AMI requirements to allow nonprofit employees to qualify for apartments

CONCLUSION

We know that housing is important to all employers, and we believe that nonprofits in particular hold a special place in the fabric of our community that needs to be respected and preserved. These organizations typically do not have the time, leverage, or expertise to navigate the complicated availability, design housing proposals, or put together creative deals. By having a program for nonprofits that they can easily access, we can make a collective impact on this critical issue for our community. We look forward to the conversation on creating a unique partnership that benefits all involved and will have lasting impact in our community.

Justice Center

* Draft for Approval (12/5/2023)

Leasing Plan

1. Room Availability Breakdown

a. Public

i. 40 rooms with the following conditions/priority:

1. Work full time – 30hr/week on average in Summit County providing or for a business providing goods and services to the County (Excludes Remote work that could be done outside of County, i.e., tech workers for out of County business's)
2. Household must qualify under AMI threshold assigned to unit.

- ii. Studio 70% AMI – 13 units - \$1358/mo.
- iii. One-bedroom 80% AMI – 8 units - \$1663/mo.
- iv. One-bedroom 100% AMI – 8 units - \$2078/mo.
- v. Two-bedrooms units 100% AMI – 9 units - \$2495/mo.
- vi. ADA studio 70% AMI – 1 unit – \$1358/mo.
- vii. ADA two-bedroom 100% AMI - 1 unit - \$2495/mo.

b. County Employee (County may prefer TOB and County units include some 100% AMI to provide more of the 80% AMI units for the public)

- i. One-bedroom 80% AMI – 6 units - \$1663/mo.

c. Town Employee

- i. One-bedroom 80% AMI – 6 units - \$1663/mo.

d. ADA units will prioritize those with a disability that requires an ADA room.

2. Parking

a. There are a total of 72 parking spots according to the Revised Civil Drawing 10.5.2023. This includes 48 surface spots, 4 ADA surface spots, and 20 carport spots.

b. Number of parking spots per unit type:

- i. Studio – 1 spot
- ii. One-bedroom – 1 spot
- iii. Two-bedroom – 2 spots

c. 6 Visitor spots

d. 4 ADA spots

e. Recommend providing hang tags for resident's cars.

f. Carports are available for an additional \$45 per month. These could be available as first come first serve or a separate lottery could be held. First come first serve would simplify the process. We need all 20 carport spots to be filled or else we will not have enough parking.

3. Utilities

a. All utilities will be included in the monthly rent. (need to confirm internet)

f.b. Electrical usage will be monitored by unit and overage will be charged to the tenant if the unit exceeds a set threshold. Electrical usage threshold TBD. *We may not be allowed to charge overage if rent is set at AMI limit.*

3.4. Unit Occupancy

- a. Studios shall not be occupied by more than 2 people.
- b. One-bedrooms shall not be occupied by more than 2 people.
- c. Two-bedrooms shall not be occupied by more than 4 people.
- d. Familial status would allow higher occupancies.

4.5. Rental Term

- a. 12 Month leases for all room types

5.6. Applications handled through the incoming property manager.

6.7. Move in starting on March 1st, 2024.

7.8. One pet allowed per unit.

- a. Pet rent - \$35/mo.
- b. Pet registration required.
- c. DNA testing to control pet waste
- d. Fine structure for leaving pet waste on property?

~~d.e. Service animals are exempt from pet rent.~~

8.9. No RVs/trailers/storage/etc. allowed in the parking lot.

*Final Draft for Approval-Lottery Process

1. A press release and will go out with leasing and qualification details. An email blast to individuals on the interested list will be sent at the same time. This will provide applicants with time to collect documentation needed for lottery enrollment and lease application and a warning of when the enrollment period will begin.
2. Press release and email blast should include:
 - a. Summary of leasing process
 - b. Enrollment period dates
 - c. Enrollment form Cognito link (not active until enrollment period)
 - d. Qualifications to be eligible for a unit.
 - e. Items needed for enrolling in lottery.
 - f. Items needed for applying for lease, paystubs, renters' insurance, etc. Collect list from incoming property manager.
 - g. Property managers contact information.
3. There will be a lottery enrollment period where interested parties will submit the following items to the property manager via a Cognito form. The Cognito form will also include the information sent in the press release.
 - a. Name, email, phone number
 - b. Preferred method of contact for room selection, email or text only. If we only allow email, it will simplify the outreach and leasing process.
 - c. Number and full names of all adults applying for unit.
 - d. Unit size choice
 - e. Two-year work history as member of Summit County workforce. (Paystubs? If so, how many?)
4. The list of interested parties will be broken down into the following categories.
 - a. Two-bedroom
 - b. One-bedroom
 - c. Studio
5. All interested parties will be assigned a lottery number. They will receive their lottery number to their preferred contact method listed on the lottery enrollment form. Those who submitted materials proving a 2-year history of being part of the Summit workforce will receive 1 extra lottery ticket.
6. Two lottery events will be held. The first will only include households within the AMI cap for 70% and 80% AMI units. The second will include all applicants and all remaining open units. In each of the two lottery events, a separate lottery drawing will be held for each of the room categories above. The Town has requested small buffer for the income priority to be reviewed with BOCC.
 - a. The lottery may be attended in person, location TBD.
 - b. The lottery will be recorded on video.
 - c. A numbered ticket will be used for the lottery.

7. All lottery participants in each room size category will be assigned a position based on lottery results.
8. A PDF will be put together including the following:
 - a. Lottery results for each room type.
 - b. Explanation of remaining lottery process
 - c. Timeline for remaining lottery process
 - d. Contact information for the property manager for any questions.
9. An email including a link to the lottery video and a PDF of the lottery results will be emailed to lottery participants. Those who requested text as their preferred contact method will also receive a text with a link to view the lottery results PDF, if we are also allowing text as a preferred contact method.
10. The property manager will contact lottery participants in the order provided by the lottery to ask if they would like to apply for a unit. We are only looking for a “yes or no” at this stage. Participants will be called first. If the call is not answered, a voicemail will be left, and they will be sent an email and a text. If there is no answer received within 24 hours, they will be moved to the bottom of the list. Outreach should be done before noon; this will give most of the day and the next morning for people to respond.
 - a. In order to move through the list faster, lottery participants should be contacted in batches. Meaning, on day one, the first 5 participants from each room category should be contacted. They will get 24 hours to respond. After the 24 hours are up, those who responded yes will be asked to apply for lease immediately, non-responders and those who responded no will be moved to the bottom of the list.
 - b. Once the 24-hour response period is over, the next batch of 5 can be contacted. The property manager will need to be sure they do not contact more people to apply than we have units to fill.
 - c. The property manager should be brought in on the discussion regarding how many lottery participants they can contact in each batch and if they can do back-to-back batches.
 - d. This step was chaotic with 580 Silverthorne, working with the incoming manager to come up with a clear plan ahead of time will be important.
11. Participants who replied yes will then apply for a lease through the property manager.
 - a. From the day they respond yes, they will have 3 days to submit the required application materials.
 - b. Participants can expect a 3(?) day turnaround from when application materials are submitted to when they hear back on their approval.
 - c. This step also needs to be discussed with the incoming property manager, how long can they turn around application materials and a background check? How many can they do simultaneously? If income testing is required by the grant, then turnaround time to hear on approval will need to be extended. This would push the “Approved List of Occupants” date into mid-March
12. Those who apply and do not qualify will be moved to the bottom of the list and the next position in the lottery will be contacted to apply.

13. When all units have approved occupants, a final email blast will be sent to all lottery participants notifying them that the units are full, and the complex will use the remaining lottery list as the waitlist as units become available.

TIMELINE

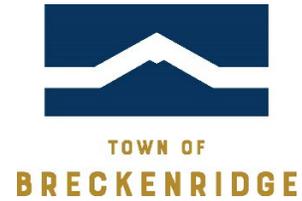
- 12/1/2023-Property Manager selected
- 12/12/2023-Review final program details with Councils/BOCC
- 12/15/2023 - Press Release and email to interested parties on the lists
- 1/1/2023 – 1/10/2023 - Lottery enrollment period, Cognito form is live.
- 1/16/2023 - Participants receive lottery numbers.
- 1/18/2023 - Lottery is held.
- 1/23/2023 - Lottery results PDF sent to participants.
- 1/24/2023 - Property manager begins contacting lottery participants.
- 2/20/2023 - Approved list of 40 public occupants
- 3/1/2023-Earliest move in's

NOTES/QUESTIONS

Be clear about how receiving a lottery number does not guarantee you an apartment. Everyone will receive a lottery number. Those who enrolled in the lottery will be contacted to apply for lease in the order they were drawn.

Only allowing email communication would simplify the process considerably.

All communications will be in English and Spanish. Making one version of the Cognito form, emails, and texts that include both English and Spanish will save time and reduce complexity rather than having separate copies for separate languages.



Memo

To: Breckenridge Town Council Members
From: Helen Cospolich, Town Clerk
Date: 12/7/2023
Subject: Committee Reports

The following committee reports were submitted for this meeting:

- Liquor and Marijuana Licensing Authority
- Summit Stage Advisory Board

Committees*	Representative	Report Status
Summit Stage Advisory Board	Matt Hulsey	Included
Police Advisory Committee	Chief Jim Baird	No Meeting/Report
Recreation Advisory Committee	Molly Boyd	No Meeting/Report
Transit and Parking Advisory Committee	Matt Hulsey	No Meeting/Report
Liquor and Marijuana Licensing Authority	Tara Olson	Included
Breckenridge Social Equity Advisory Commission	Shannon Haynes/Mack Russo	No Meeting/Report
Communications	Brooke Attebery	No Meeting/Report

***Note:** Reports provided by the Mayor and Council Members are listed in the Council agenda.

Breckenridge Liquor and Marijuana Licensing Authority

Regular Meeting

Tuesday, October 17, 2023

- 1) Call to Order, Roll Call
Chair Conway called the regular meeting of Tuesday, October 17, 2023, to order at 9:00 am. The following members answered roll call: Ashley Zimmerman, Leigh Girvin, Haley Littleton, and Chair Ace Conway. Authority member Kelly Lovely was absent.
- 2) Approval of Minutes
With no changes or corrections to the meeting minutes of September 19, 2023, Chair Conway declared they would stand as approved.
- 3) Approval of Agenda
Ms. Norgard added a Tastings Permit application from Avalanche Market and Liquor to the Liquor Consent Calendar. With no other changes to the agenda, Chair Conway declared the agenda would stand as amended.
- 4) Consent Calendar
 - a) Liquor Consent Calendar

The Liquor Consent Calendar was approved as amended.
 - b) Marijuana Consent Calendar

The Marijuana Consent Calendar was approved as submitted.
 - c) Tobacco Consent Calendar – None
- 5) Transfer of Ownership Applications
 - a) MHH Breckenridge Operating, LLC d/b/a Residence Inn By Marriott – Breckenridge
600 S Ridge St
Transfer of Ownership of a Hotel & Restaurant liquor license from Riva RE Holdings LLC d/b/a Residence Inn Breckenridge

Attorney Brian Proffitt and general manager Scott Lypson spoke on behalf of the application. Mr. Lypson has been the general manager there for several years and is staying on with the new ownership. Mr. Lypson stated they are not making any changes and will be continuing business as usual.

Authority member Girvin made a motion to approve the Transfer of Ownership application. A roll call vote was taken, and the motion passed 4-0.
 - b) NS Breck Limited d/b/a Organix
1795 Airport Rd, Unit A-2
Transfer of Ownership of a Retail Marijuana Store License from Bellflower LLC d/b/a Organix

Mr. David Washenfelder, owner, spoke on behalf of the application. He currently owns five marijuana licenses in Alma – one retail license and four manufacturing licenses, so they already have some experience with a retail marijuana license. They plan to focus on selling the products produced by their Alma licenses. Their hours will most likely be 9:00 am to 10:00 pm.

Authority member Girvin made a motion to approve the Transfer of Ownership application. A roll call vote was taken, and the motion passed 4-0.
 - c) NS Breck Limited d/b/a Organix
1795 Airport Rd, Unit A-2

Transfer of Ownership of a Retail Marijuana Cultivation Facility License from
Bellflower LLC d/b/a Organix

Mr. David Washenfelder, owner, spoke on behalf of the application. Chair Conway asked him to speak on the difference between the previous license and this license. Mr. Washenfelder said the retail store operates on the ground floor and the cultivation area is on the mezzanine level – it's all in the same unit. Ms. Girvin asked if he will continue to grow marijuana there and Mr. Washenfelder replied that he is not certain how much they will grow there, but will probably continue to a bit, to keep the license current.

Authority member Littleton made a motion to approve the Transfer of Ownership application. A roll call vote was taken, and the motion passed 4-0.

- d) NS Breck Limited d/b/a Organix
1795 Airport Rd, Unit A-2
Transfer of Ownership of a Medical Marijuana Center – Type 1 License from
Bellflower LLC d/b/a Organix

Mr. David Washenfelder, owner, spoke on behalf of the application. Chair Conway asked Mr. Washenfelder to speak about this license type. Mr. Washenfelder stated that the medical retail license is on the ground floor. Ms. Zimmerman asked if there were separate requirements for the license type. Mr. Washenfelder stated he didn't think so, other than the registers being separate. Chair Conway asked if medical marijuana is different from retail marijuana and Mr. Washenfelder stated there is no real difference besides the way it is tagged. Ms. Girvin asked if it is not true that medical marijuana can be obtained by those 18 years of age and older, if there is a prescription (or "card") for it from a medical doctor, and recreational is only for those 21 years of age and older. Mr. Washenfelder agreed. Chair Conway asked if the prices are the same for the different types of products. Mr. Washenfelder stated that medical marijuana is far less expensive than retail. On the vape side, the prices are more even.

Chair Conway made a motion to approve the Transfer of Ownership application. A roll call vote was taken, and the motion passed 4-0.

- e) NS Breck Limited d/b/a Organix
1795 Airport Rd, Unit A-2
Transfer of Ownership of a Medical Marijuana Optional Premises License for a
Cultivation Facility from Bellflower LLC d/b/a Organix

Mr. David Washenfelder, owner, spoke on behalf of the application. Chair Conway asked Mr. Washenfelder to speak about this license type. Mr. Washenfelder stated he thought this license was possibly for a storage permit, and the cultivation area is on the mezzanine level. The Authority had no further questions.

Authority member Zimmerman made a motion to approve the Transfer of Ownership application. A roll call vote was taken, and the motion passed 4-0.

6) Public Hearings for New License Applications

- a) Peak Resorts Management, LLC d/b/a Grand Lodge on Peak 7
1979 Ski Hill Rd
Lodging & Entertainment Liquor License

Alex Brown, compliance manager for Breckenridge Grand Vacations/Peak Resorts Management and Lindsay Rynwand, manager of Grand Lodge on Peak 7 spoke on behalf of the application. Mr. Brown explained that the lobby bar in this building was formerly managed by Vail Resorts as part of Sevens Restaurant's liquor license. The liquor licensed boundaries for Sevens Restaurant have already been modified, removing the Grand Lodge building. This license will allow the lobby bar and the spa

to serve alcohol and will be managed by the building owners, Breckenridge Grand Vacations (with Peak Resorts Management being a subsidiary of them). Ms. Zimmerman asked what the expected hours will be. Ms. Rynwand stated the lobby bar hours would be 11:00 am to 9:00 pm as it has been in the past, and the spa hours would be 8:00 am to 8:00 pm. Ms. Zimmerman asked if all alcohol serving staff are, or would be, TIPS certified. Mr. Brown stated they will be. Ms. Girvin asked if guests could purchase drinks at the lobby bar and take them to their rooms, and Mr. Brown replied in the affirmative. Mr. Conway asked if they previously served alcohol in their spa, and Mr. Brown said no, this would be new. Chair Conway asked if there were changes to the layout of the lobby bar, and Mr. Brown stated there wouldn't be any changes. Ms. Littleton asked about outdoor seating, on the mountain side. Mr. Brown stated Sevens Restaurant has outdoor seating as part of their license, that includes a patio area and much of the Peak 7 base area. The Grand Lodge license would include their building and their fenced in aquatics area and be signed as such.

Authority member Girvin made a motion to approve the new Lodging & Entertainment license application. A roll call vote was taken, and the motion passed 4-0.

- b) UDFINEART LLC d/b/a Ready Paint Fire!
112 S Ridge St
Beer and Wine Liquor License

Ms. Bethany Smith, Owner, was present on behalf of the application. Ms. Smith used to own and operate the former Ready Paint Fire! in a different location, where she also had a beer and wine liquor license for eight years with no issues. She also previously had two liquor licenses in Keystone during that same timeframe. She closed those businesses during the covid pandemic and is now back and ready to open again in a new location that she purchased in the building formerly known as Mountain Outfitters. Ms. Smith plans on having local art for sale on the first floor, along with a party room for birthdays, sip and paint parties and things like that. On the second floor she is planning on having the paint-your-pottery area, as well as a candle dipping station. They will have food and snacks available, their hours will be 11:00 am to 7:00 pm, and she is happy to welcome back a couple of experienced managers who will be updating their TIPS certifications. She is excited to open back up in Breckenridge! Ms. Littleton stated she is glad to see something like this going into that beloved location. Chair Conway stated he is also glad to see the business come back into town.

Authority member Zimmerman made a motion to approve the Beer & Wine license application. A roll call vote was taken, and the motion passed 4-0.

- 7) Informal Discussion
 - a) Police Department Update
There was no police update.

- b) Staff Updates

Attorney Update
There was no attorney update.

Town Clerk Update

Records and Municipal Court Coordinator Maddy Norgard stated that the LMLA will have two (2) vacancies at the end of 2023. Ms. Girvin will be terming out and Ms. Littleton was appointed to fill in for Ms. Power, whose term would end at the end of 2023. Please ask anyone that may be interested in joining the Authority to reach out to Ms. Olson or Ms. Cospolich.

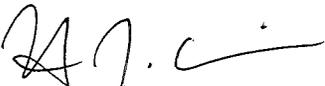
- c) Public Comment
There was no public comment.

Breckenridge Liquor and Marijuana Licensing Authority
Regular Meeting
Tuesday, October 17, 2023

- 8) Adjournment
With no further business to discuss, the meeting adjourned at 9:36 am.

The next regular meeting will be held on November 21, 2023. Submitted by Maddy Norgard, Records and Municipal Court Coordinator.

ATTEST:



Helen Cospolich, Town Clerk



Ace Conway, Chair

Summit Stage
December 6, 2023
Transit Board Meeting

Notes from current meeting:

- A continuation of the discussion around the Peak 7 requested bus stop took place with a Forest Service representative expressing general support for the project. Their reasoning for support is that the area is heavily utilized by BSR skiers and Nordic Center skiers causing conflict between these two user groups and Peak 7 neighborhood residents. There did not appear to be an understanding on how the bus stop may alleviate these conflicts.
 - Stage Board members asked the Peak 7 resident about their conversations with BSR and why BSR did not offer to operate their bus service in this area as they are currently the closest option and from the Forest Service comments, this stop would be serving BSR users more than other user groups. The resident stated they would contact BSR about this request.
- A discussion around the return of 30-minute service to Copper Mountain brought up some concerns that while the Stage Board had agreed that 30-minute service could be done in phases, the County Commissioners/County Managers made a siloed decision to implement this for Copper Mountain without Stage Board input. The Board stated that while they are happy to see Copper ridership increasing, this was not the best financial decision for this publicly funded service as this route is moving 20 riders per hour, whereas other routes in the County are moving closer to 30 riders per hour. The Board agrees that the BOCC and Managers are welcome to make these decisions without Board approval in the interests of the community they represent.

Following pages include ridership and reports:



TRANSIT DEPARTMENT

970.668.0999 ph | 970.668.4165 f
www.SummitStage.com

0222 County Shops Rd. | PO Box 2179
Frisco, CO 80443

AGENDA

Summit County Transit Board Meeting

8:15am Wednesday, December 6th, 2023

In Person at the Senior Center, Loveland Room, 83 Nancy's Place, Frisco, CO 80443

Breakfast Items Provided

I. Welcome and Introductions

II. Approval of Minutes Motion ___ 2nd ___ Approved ___ Rejected ___

III. Agenda Changes Motion ___ 2nd ___ Approved ___ Rejected ___

IV. Recognition of Guests and Public Comment

V. Monthly Update Items

- a. Member Expirations, New Candidates, etc. (Tracy Colvin) 10 minutes
- b. Financial Report and Latest Sales Tax Information (Chris Lubbers) 5 minutes
- c. Operations Report (Alex Soto) 10 minutes
 - i. Staffing, Operational Items, Ridership Summary

VI. Agenda Items 30 minutes

- a. Transit Planning Update (Ann Findley)
 - i. Microtransit Study
 - ii. Winter and Summer Service Levels
 - iii. How New Service Ideas are Received and Studied
- b. Capital Projects (Chris Lubbers)
 - i. Razor Drive Bus Stop Relocation
 - ii. Swan Meadow Village Bus Stop Building Project
 - iii. Swan Meadow Village Shuttle Service
 - iv. Little Beaver Trail Housing Renovation Project
 - v. Fleet Storage, Charging and Ops Facility
 - vi. Bus Purchases

VII. Adjournment Motion ___ 2nd ___ Approved ___ Rejected ___

Summit Stage Operations Report
December 6, 2023, Transit Board Meeting

Operations Summary

- ❖ We have 5 drivers in training
- ❖ We have another 6 drivers in the hiring pipeline
- ❖ Currently we have 49 full time drivers with a winter schedule consisting of 48 fulltime shifts
- ❖ In addition:
 - For the first time in 3 years, we have enough full time drivers to fill all the Winter shifts and we will not have any open shifts on the board.
 - We require another 6 drivers at the least to cover vacation, sick, STD, W/C, and FMLA
- ❖ We have 3 people currently on FMLA
- ❖ We are currently covering an average of 20 overtime shifts per week (before the winter of 2021, when we went to an hourly schedule, we were covering an average of 56 overtime shifts per week)

- ❖ We have ordered tablets to replace DoubleMap with TransLoc as our new transit application

- ❖ We have taken possession of one new 40' Gillig delivered on 10/18
- ❖ We are awaiting the arrival of 2 more new 40' Gilligs
- ❖ We have taken possession of 5 used 40' Gilligs
 - Awaiting titles to register and put plates on them
 - The Shop is installing electronics
- ❖ All are awaiting plates

Summit Stage Ridership

Fixed Routes

	October 2022 and 2023 Compared							% change 2022 to 2023	October 2022 and 2023 Y-T-D					
	2022			2023			2022			2023				
	Guests	Hours	Guests/Hour	Guests	Hours	Guests/Hour	Guests		Hours	Guests/Hour	Guests	Hours	Guests/Hour	
Town-To-Town Routes:			<i>T-T std. = 22</i>			<i>T-T std. = 22</i>				<i>T-T std. = 22</i>			<i>T-T std. = 22</i>	
Breckenridge-Frisco	17,431	744.0	23.4	18,793	785.3	23.9	7.8%	231,328	7,296.0	31.7	230,369	7,701.1	29.9	
Frisco-Silverthorne	17,643	480.5	36.7	15,092	480.5	31.4	-14.5%	191,039	4,049.6	47.2	176,247	4,712.0	37.4	
<i>Swan Mtn. Express</i>	<i>1,618</i>	<i>69.6</i>	<i>23.2</i>	<i>0</i>	<i>0.0</i>	<i>#DIV/0!</i>	n/a	<i>10,546</i>	<i>444.7</i>	<i>23.7</i>	<i>0</i>	<i>0.0</i>	<i>#DIV/0!</i>	
T-T Subtotal	36,692	1294.1	28.4	33,885	1265.8	26.8		432,913	11,790.3	36.7	406,616	12,413.1	32.8	
Town-To-Resort Routes:			<i>T-R std. = 22</i>			<i>T-R std. = 22</i>				<i>T-R std. = 22</i>			<i>T-R std. = 22</i>	
Copper Mountain-Frisco	4,537	542.5	8.4	4,421	542.5	8.1	-2.6%	89,157	5,320.0	16.8	107,720	5,320.0	20.2	
Keystone/Dillon/Silverthorne	28,257	1041.5	27.1	22,347	1046.7	21.3	-20.9%	326,414	9,548.7	34.2	291,917	10,243.2	28.5	
SMF: Breck-Key	0	0.0	#DIV/0!	0	0.0	n/a	#DIV/0!	18,808	1,808.9	10.4	21,069	2,072.6	10.2	
SMF: Key-ABasin	0	0.0	#DIV/0!	0	0.0	n/a	#DIV/0!	9,224	748.5	12.3	8,778	853.4	10.3	
SMF Total	0	0	#DIV/0!	0	0.0	n/a	#DIV/0!	28,032	2,557.4	11.0	29,847	2,926	10.2	
T-R Subtotal	32,794	1584.0	20.7	26,768	1589.2	16.8		443,603	17,426.1	25.5	429,484	18,489.2	23.2	
Residential Routes:			<i>Res std. = 14</i>			<i>Res std. = 14</i>				<i>Res std. = 14</i>			<i>Res std. = 14</i>	
Boreas Pass Loop	3,593	351.3	10.2	4,274	372.0	11.5	19.0%	75,562	3,445.1	21.9	74,967	3,563.9	21.0	
Purple (Free Ride contract)	4,231	542.5	7.8	5,234	542.5	9.6	23.7%	79,581	5,320.0	15.0	91,947	5,337.5	17.2	
Silverthorne Loop	4,551	287.7	15.8	5,204	287.7	18.1	14.3%	45,939	2,821.2	16.3	51,548	2,821.2	18.3	
Wilderness Loop	6,414	294.5	21.8	5,773	294.5	19.6	-10.0%	63,819	2,888.0	22.1	68,425	2,888.0	23.7	
Res Subtotal	18,789	1476.0	12.7	20,485	1496.7	13.7		264,901	14,474.3	18.3	286,887	14,610.6	19.6	
Commuter Routes:			<i>Com std. = 10</i>			<i>Com std. = 10</i>				<i>Com std. = 10</i>			<i>Com std. = 10</i>	
Blue River Commuter	390	62.5	6.2	582	77.5	7.5	49.2%	4,214	613.0	6.9	10,376	779.8	13.3	
Lake County Commuter	1,542	260.4	5.9	1,794	260.4	6.9	16.3%	18,243	2,553.6	7.1	20,995	2,553.6	8.2	
Park County Commuter	1,550	85.3	18.2	2,259	161.3	14.0	45.7%	13,906	836.3	16.6	24,756	1,348.2	18.4	
Com Subtotal	3,482	408.2	8.5	4,635	499.2	9.3		36,363	4,002.9	9.1	56,127	4,681.6	12.0	
Misc. Fixed Route Subtotal	0	0.0	n/a	0	0.0	n/a		0	0.0	n/a	1,558	83.4	n/a	
FIXED ROUTE TOTALS	91,757	4,762.3	19.3	85,773	4850.9	17.7	-6.5%	1,177,780	47,693.6	24.7	1,180,672	50,277.9	23.5	
Mountain Mobility/Para Transit														
	October 2022 and 2023 Compared								October 2022 and 2023 Y-T-D					
	2022			2023			2022			2023				
	Guests	Hours	Guests/Hour	Guests	Hours	Guests/Hour	Guests		Hours	Guests/Hour	Guests	Hours	Guests/Hour	
PARATRANSIT TOTALS	435	370.2	1.2	0	0.0	#DIV/0!	-100.0%	3,818	3,390.2	1.1	3,984	3,637.6	1.1	
GRAND TOTAL	92,192	5,132.5	18.0	85,773	4,850.9	17.7		1,181,598	51,083.8	23.1	1,184,656	53,915.5	22.0	

CDOT Quarterly Report Data	Fixed Route	81,138	4351.7
	Commuter	4,635	499.2

Summit Stage Ridership

Monthly Riders:	January	February	March	April	May	June	July	August	September	October	November	December
Town to Town Routes												
Breckenridge-Frisco	36,627	29,957	29,133	17,737	17,080	17,116	21,868	21,757	20,301	18,793	1,000	1,000
Frisco-Silverthorne	22,592	19,900	21,566	16,698	15,155	15,531	17,327	17,264	15,122	15,092	1,000	1,000
<i>Swan Mtn. Express</i>	0	0	0	0	0	0	0	0	0	0	0	0
Town to Resort Routes												
Copper Mountain-Frisco	21,831	21,597	21,333	10,736	4,264	5,335	6,778	5,926	5,499	4,421	1,000	1,000
Keystone-Silverthorne	44,317	36,781	38,025	26,078	22,233	24,627	26,621	26,649	24,239	22,347	1,000	1,000
SMF: Breck-Key	5,621	5,528	5,786	3,463	671	0	0	0	0	0	1,000	1,000
SMF: Key-Abasin	1,856	1,641	2,235	2,626	420	0	0	0	0	0	1,000	1,000
SMF Total	7,477	7,169	8,021	6,089	1,091	0	0	0	0	0	2,000	2,000
Residential Routes												
Boreas Pass Loop	14,272	13,498	11,387	5,480	3,753	5,652	6,678	5,072	4,901	4,274	1,000	1,000
Purple (Free Ride contract)	12,909	14,130	12,116	8,452	5,490	7,357	9,585	9,576	7,098	5,234	1,000	1,000
Silverthorne Loop	6,306	5,346	6,137	4,799	4,238	4,808	4,725	5,129	4,856	5,204	1,000	1,000
Wildernest Loop	8,395	7,339	7,050	5,731	5,666	6,989	8,134	6,826	6,522	5,773	1,000	1,000
Commuter												
Blue River Commuter	2,105	1,812	1,330	657	550	717	1,061	843	719	582	1,000	1,000
Lake County Commuter	3,147	2,415	2,674	2,053	1,533	1,793	1,955	2,017	1,614	1,794	1,000	1,000
Park County Commuter	3,419	2,778	2,830	2,132	1,968	2,293	2,310	2,609	2,158	2,259	1,000	1,000
Misc. Fixed Route	139	0	0	267	1,068	84	0	0	0	0	0	0
Paratransit	376	448	596	451	388	428	384	468	445	0	1,000	1,000

Year to Date Riders:	February	March	April	May	June	July	August	September	October	November	December	
Town to Town Routes												
Breckenridge-Frisco	66,584	95,717	113,454	130,534	147,650	169,518	191,275	211,576	230,369	231,369	232,369	
Frisco - Silverthorne	42,492	64,058	80,756	95,911	111,442	128,769	146,033	161,155	176,247	177,247	178,247	
<i>Swan Mtn. Express</i>	0	0	0	0	0	0	0	0	0	0	0	
Town to Resort Routes												
Copper Mountain-Frisco	43,428	64,761	75,497	79,761	85,096	91,874	97,800	103,299	107,720	108,720	109,720	
Keystone-Silverthorne	81,098	119,123	145,201	167,434	192,061	218,682	245,331	269,570	291,917	292,917	293,917	
SMF: Breck-Key	11,149	16,935	20,398	21,069	21,069	21,069	21,069	21,069	21,069	22,069	23,069	
SMF: Key-Abasin	3,497	5,732	8,358	8,778	8,778	8,778	8,778	8,778	8,778	9,778	10,778	
SMF Total	14,646	22,667	28,756	29,847	29,847	29,847	29,847	29,847	29,847	31,847	33,847	
Residential Routes												
Boreas Pass Loop	27,770	39,157	44,637	48,390	54,042	60,720	65,792	70,693	74,967	75,967	76,967	
Purple (Free Ride contract)	27,039	39,155	47,607	53,097	60,454	70,039	79,615	86,713	91,947	92,947	93,947	
Silverthorne Loop	11,652	17,789	22,588	26,826	31,634	36,359	41,488	46,344	51,548	52,548	53,548	
Wildernest Loop	15,734	22,784	28,515	34,181	41,170	49,304	56,130	62,652	68,425	69,425	70,425	
Commuter												
Blue River Commuter	3,917	5,247	5,904	6,454	7,171	8,232	9,075	9,794	10,376	11,376	12,376	
Lake County Commuter	5,562	8,236	10,289	11,822	13,615	15,570	17,587	19,201	20,995	21,995	22,995	
Park County Commuter	6,197	9,027	11,159	13,127	15,420	17,730	20,339	22,497	24,756	25,756	26,756	
Misc. Fixed Route	139	139	406	1,474	1,558	1,558	1,558	1,558	1,558	1,558	1,558	
Paratransit	824	1,420	1,871	2,259	2,687	3,071	3,539	3,984	3,984	4,984	5,984	2023 Total Riders
												1,212,656

Misc Fixed Route Jan - ice sculptures; April & May school kids to Silco; June BBQ

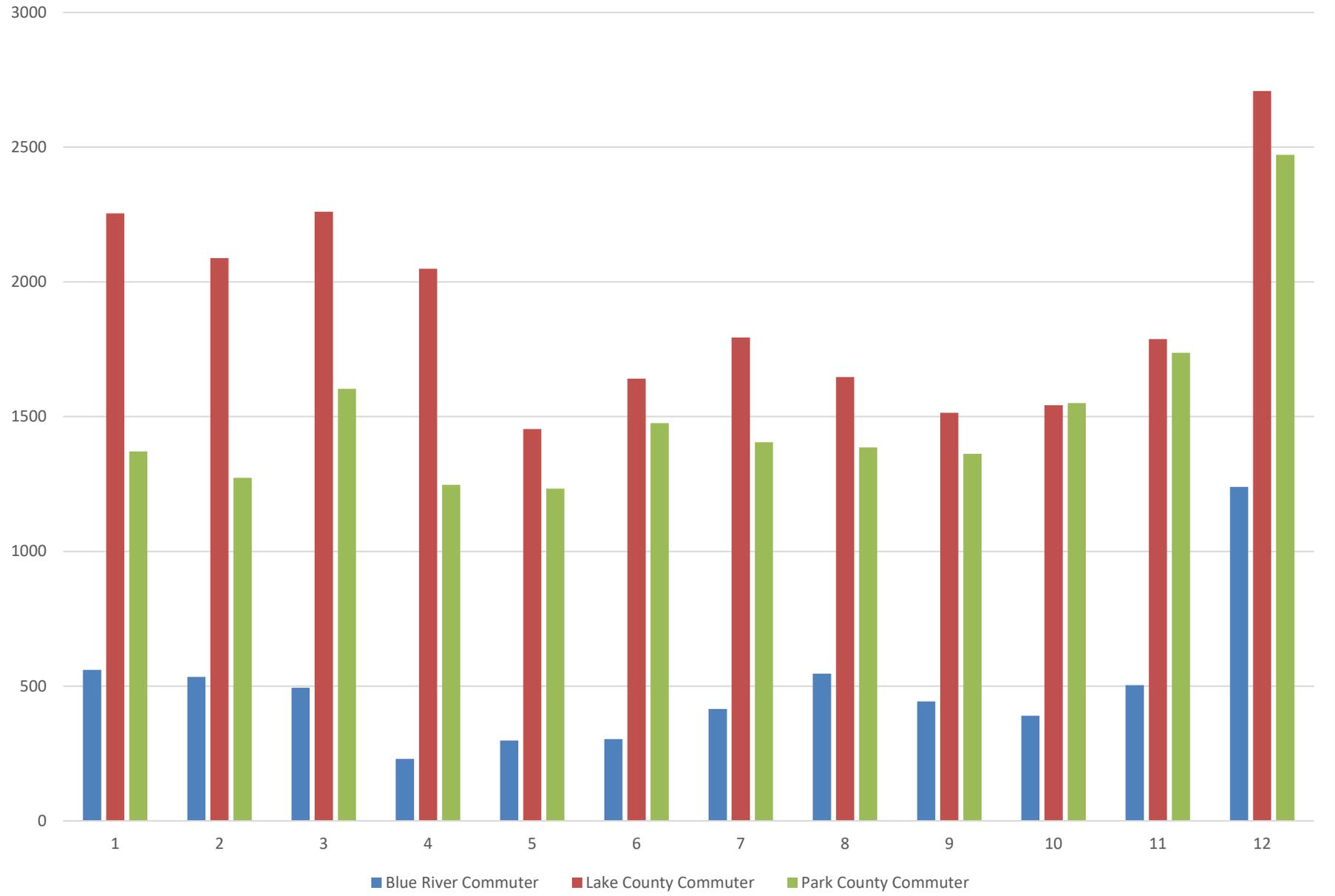
Summit Stage Ridership

Monthly Hours:	January	February	March	April	May	June	July	August	September	October	November	December
Town to Town Routes												
Breckenridge-Frisco	785.3	709.3	785.3	760.0	785.3	760.0	785.3	785.3	760.0	785.3	100.0	100.0
Frisco-Silverthorne	480.5	434.0	480.5	465.0	480.5	465.0	480.5	480.5	465.0	480.5	100.0	100.0
Swan Mtn. Express	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Town to Resort Routes												
Copper Mountain-Frisco	542.5	490.0	542.5	525.0	542.5	525.0	542.5	542.5	525.0	542.5	100.0	100.0
Keystone-Silverthorne	1041.5	940.7	1041.5	1007.9	1045.7	1012.9	1046.7	1046.7	1012.9	1046.7	100.0	100.0
SMF: Breck-Key	483.1	436.3	483.1	467.5	202.6	0.0	0.0	0.0	0.0	0.0	100.0	100.0
SMF: Key-Abasin	198.9	179.7	198.9	192.5	83.4	0.0	0.0	0.0	0.0	0.0	100.0	100.0
SMF Total	682.0	616.0	682.0	660.0	286.0	0.0	0.0	0.0	0.0	0.0	200.0	200.0
Residential Routes												
Boreas Pass Loop	351.3	317.3	351.3	340.0	368.0	360.0	372.0	372.0	360.0	372.0	100.0	100.0
Purple (Free Ride contract)	542.5	490.0	542.5	542.5	542.5	525.0	542.5	542.5	525.0	542.5	100.0	100.0
Silverthorne Loop	287.7	259.8	287.7	278.4	287.7	278.4	287.7	287.7	278.4	287.7	100.0	100.0
Wilderness Loop	294.5	266.0	294.5	285.0	294.5	285.0	294.5	294.5	285.0	294.5	100.0	100.0
Commuter												
Blue River Commuter	83.7	75.6	83.7	75.6	78.7	75.0	77.5	77.5	75.0	77.5	100.0	100.0
Lake County Commuter	260.4	235.2	260.4	252.0	260.4	252.0	260.4	260.4	252.0	260.4	100.0	100.0
Park County Commuter	105.5	95.3	105.5	95.3	150.5	156.1	161.3	161.3	156.1	161.3	100.0	100.0
Misc. Fixed Route	10.0	0.0	0.0	25.7	23.8	24.0	0.0	0.0	0.0	0.0	0.0	0.0
Paratransit	342.4	388.9	467.3	420.6	370.4	381.9	377.1	445.8	396.5	0.0	100.0	100.0

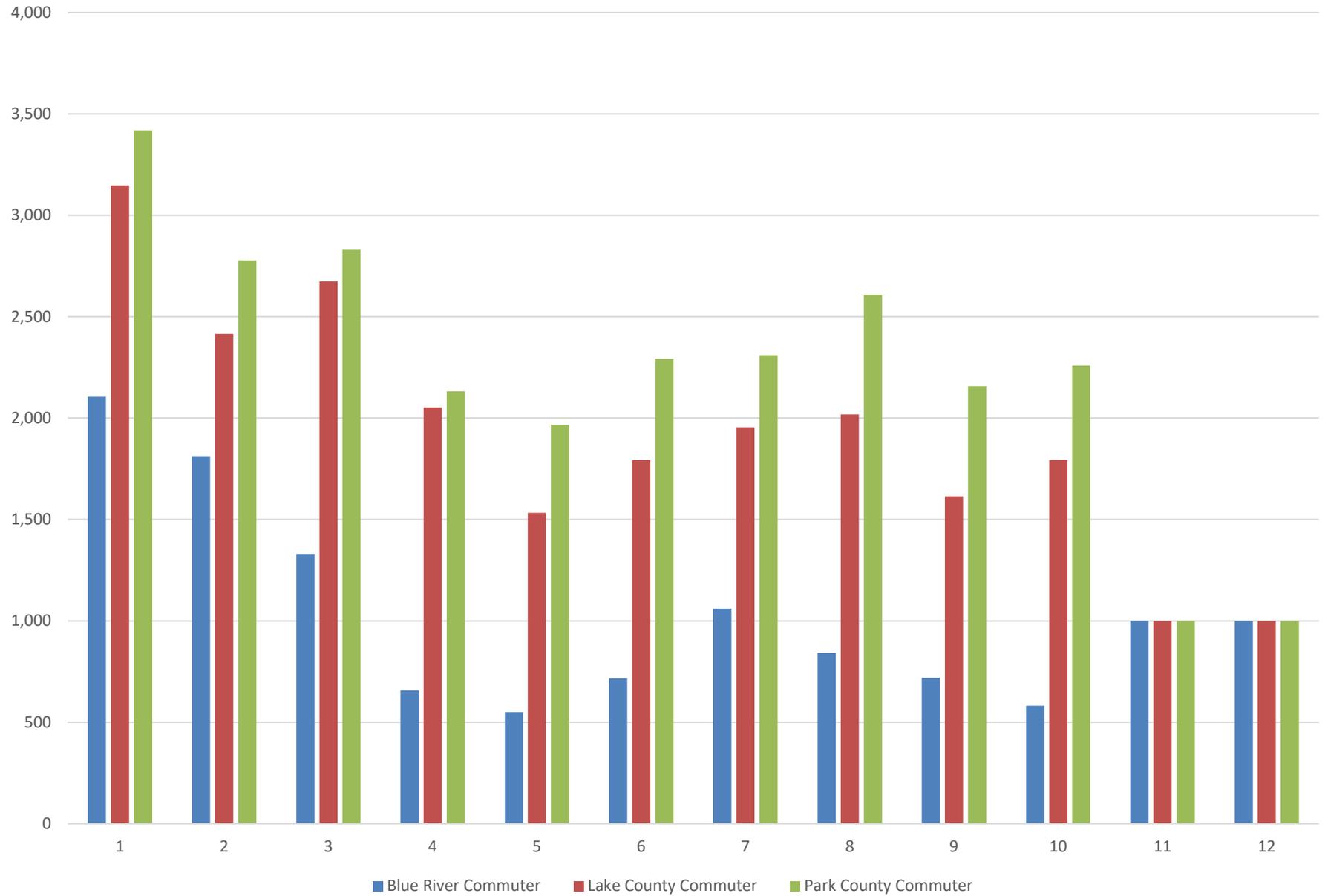
Year to Date Hours:	February	March	April	May	June	July	August	September	October	November	December
Town to Town Routes											
Breckenridge-Frisco	1494.6	2279.9	3039.9	3825.2	4585.2	5370.5	6155.8	6915.8	7701.1	7801.1	7901.1
Frisco - Silverthorne	914.5	1395.0	1860.0	2340.5	2805.5	3286.0	3766.5	4231.5	4712.0	4812.0	4912.0
Swan Mtn. Express	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Town to Resort Routes											
Copper Mountain-Frisco	1032.5	1575.0	2100.0	2642.5	3167.5	3710.0	4252.5	4777.5	5320.0	5420.0	5520.0
Keystone-Silverthorne	1982.2	3023.7	4031.6	5077.3	6090.2	7136.9	8183.6	9196.5	10243.2	10343.2	10443.2
SMF: Breck-Key	919.4	1402.5	1870.0	2072.6	2072.6	2072.6	2072.6	2072.6	2072.6	2172.6	2272.6
SMF: Key-Abasin	378.6	577.5	770.0	853.4	853.4	853.4	853.4	853.4	853.4	953.4	1053.4
SMF Total	1298.0	1980.0	2640.0	2926.0	2926.0	2926.0	2926.0	2926.0	2926.0	3126.0	3326.0
Residential Routes											
Boreas Pass Loop	668.6	1019.9	1359.9	1727.9	2087.9	2459.9	2831.9	3191.9	3563.9	3663.9	3763.9
Purple (Free Ride contract)	1032.5	1575.0	2117.5	2660.0	3185.0	3727.5	4270.0	4795.0	5337.5	5437.5	5537.5
Silverthorne Loop	547.5	835.2	1113.6	1401.3	1679.7	1967.4	2255.1	2533.5	2821.2	2921.2	3021.2
Wilderness Loop	560.5	855.0	1140.0	1434.5	1719.5	2014.0	2308.5	2593.5	2888.0	2988.0	3088.0
Commuter											
Blue River Commuter	159.3	243.0	318.6	397.3	472.3	549.8	627.3	702.3	779.8	879.8	979.8
Lake County Commuter	495.6	756.0	1008.0	1268.4	1520.4	1780.8	2041.2	2293.2	2553.6	2653.6	2753.6
Park County Commuter	200.8	306.3	401.6	552.1	708.2	869.5	1030.8	1186.9	1348.2	1448.2	1548.2
Misc. Fixed Route	10.0	10.0	35.7	59.4	83.4	83.4	83.4	83.4	83.4	83.4	83.4
Paratransit	731.3	1198.6	1665.9	2036.3	2418.2	2795.3	3241.1	3637.6	3637.6	3737.6	3837.6
											2023 Total Hours
											56632.1

Misc Fixed Route Jan - Ice sculptures; April & May Students to Silco; June BBQ

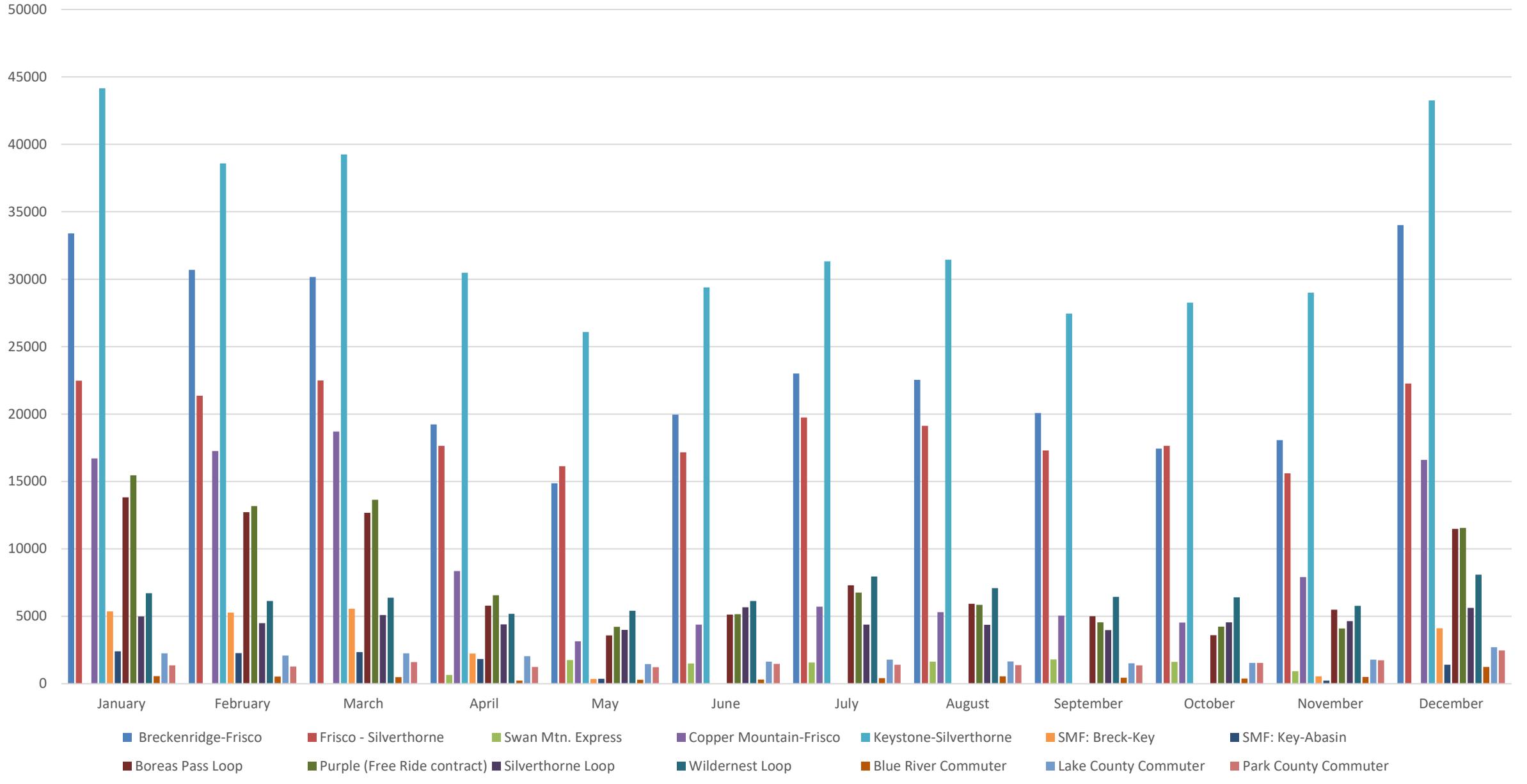
Lake County, Blue River & Park County 2022



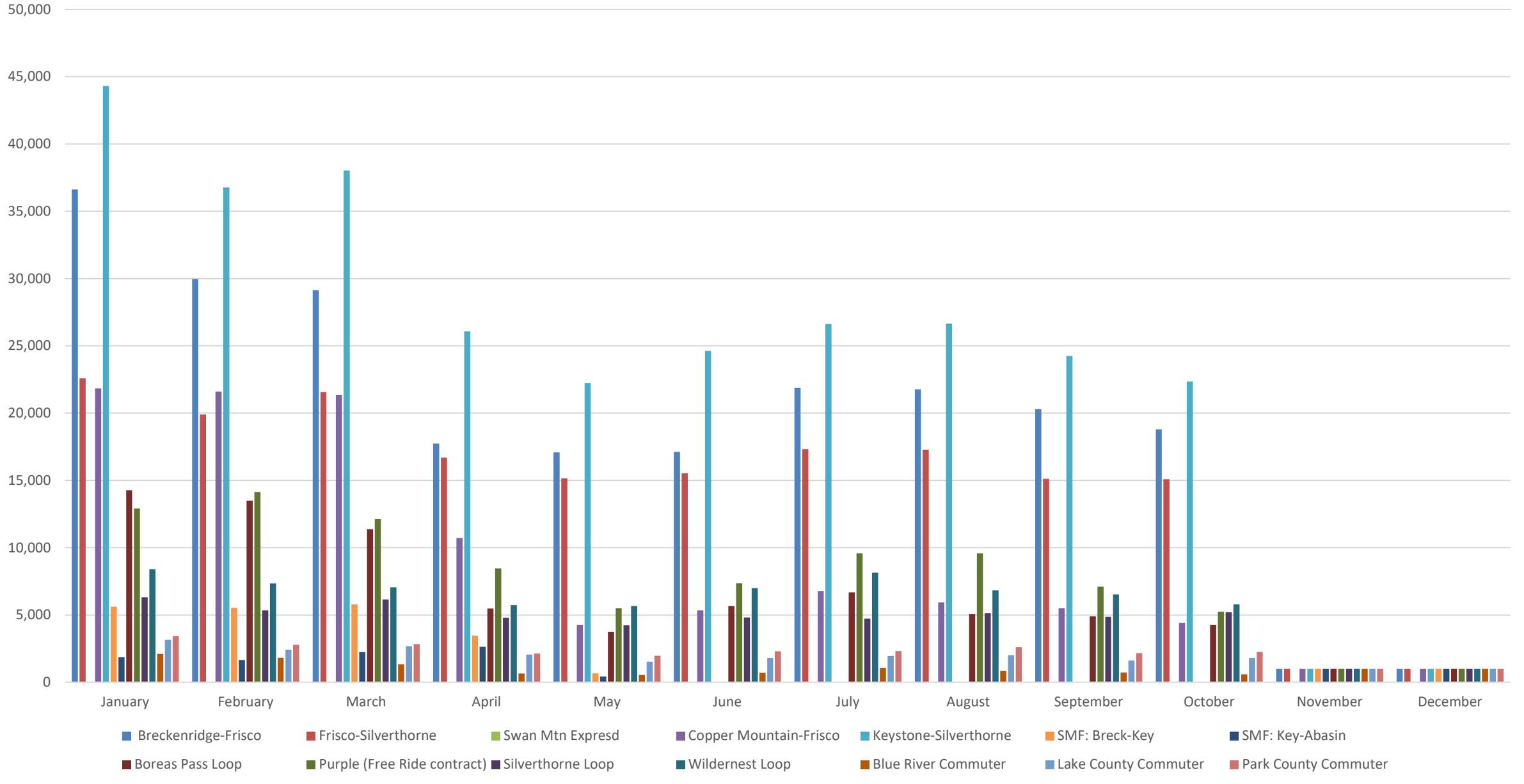
Lake County, Blue River & Park County 2023



Monthly Comparison 2022



Monthly Comparison 2023



Current Year (2023)

Previous Year (2022)

ACCOUNT DESCRIPTION	REVISED BUDGET	YTD EXPENDED	AVAILABLE BUDGET	% USED	REVISED BUDGET	YTD EXPENDED	AVAILABLE BUDGET	% USED
MASS TRANSIT TAX	(15,606,000)	(14,477,785)	(1,128,215)	93%	(12,188,500)	(14,288,029)	2,099,529	117%
TREASURER'S FEES	178,000	64,474	113,526	36%	168,000	77,390	90,610	46%
TRANSP SVC REV - LAKE	(155,000)	(102,423)	(52,577)	66%	(155,000)	(74,915)	(80,085)	48%
TRANSP SVC REV-PARK	(100,000)	-	(100,000)	0%	(100,000)	-	(100,000)	0%
GRANT REVENUE	(1,761,056)	(866,126)	(894,930)	49%	(1,855,120)	(2,748,691)	893,571	148%
ADVERTISING FEES	(100,000)	(112,986)	12,986	113%	(100,000)	(140,155)	40,155	140%
FARE REVENUE-LAKE	-	-	-	-	(85,000)	(45)	(84,955)	0%
FARE REVENUE-PARK	-	-	-	-	(10,000)	-	(10,000)	0%
SALE OF ASSETS	-	(1,655)	1,655	-	-	(5,916)	5,916	-
MISC REVENUE	-	(1,900)	1,900	-	-	-	-	-
RENTAL INCOME	(21,303)	-	(21,303)	0%	(33,300)	(9,350)	(23,950)	28%
INTEREST REVENUE	(40,000)	(564,149)	524,149	1410%	(40,000)	(146,566)	106,566	366%
Revenue Total	(17,605,359)	(16,062,551)	(1,542,808)	91%	(14,398,920)	(17,336,277)	2,937,357	120%
SALARY REGULAR	4,053,998	5,018,414	(964,416)	124%	3,653,814	3,671,180	(17,366)	100%
SALARY TEMPORARY	25,000	55,968	(30,968)	224%	25,000	42,822	(17,822)	171%
TRAINING PAY	8,000	19,454	(11,454)	243%	8,000	7,242	758	91%
VEHICLE ALLOWANCE	-	-	-	-	-	-	-	-
CRISP	513,731	580,026	(66,295)	113%	465,789	417,245	48,544	90%
RETIREMENT	118,188	142,660	(24,472)	121%	106,183	102,759	3,424	97%
HEALTH INSURANCE	1,746,200	1,159,089	587,111	66%	1,516,813	1,153,490	363,323	76%
MEDICARE TAX	58,137	81,731	(23,594)	141%	52,334	58,563	(6,229)	112%
UNEMPLOYMENT TAX	8,108	11,228	(3,120)	138%	7,307	8,171	(864)	112%
WORKMENS COMP	343,816	203,933	139,883	59%	343,816	188,697	155,119	55%
EMPLOYER 457 DEF COMP	24,669	28,465	(3,796)	115%	22,268	20,478	1,790	92%
OVERTIME	460,000	552,660	(92,660)	120%	460,000	372,323	87,677	81%
PAYROLL REIMBURSEMENT	-	-	-	-	-	-	-	-
EMPLOYEE SALARY INCREASES	71,663	-	71,663	0%	71,663	-	71,663	0%
Labor Total	7,431,510	7,853,627	(422,117)	106%	6,732,987	6,042,969	690,018	90%
OFFICE SUPPLIES	8,000	11,477	(3,477)	143%	8,000	8,142	(142)	102%
ADMINISTRATION	586,856	568,856	18,000	97%	798,702	568,856	229,846	71%
PROFESSIONAL ASSISTANCE	232,000	245,288	(13,288)	106%	232,000	238,305	(6,305)	103%
TELEPHONE	6,800	16,424	(9,624)	242%	6,800	8,139	(1,339)	120%
POSTAGE/FREIGHT	600	29	571	5%	600	28	572	5%
ADVERTISING/LEGAL NOTICES	50,000	64,584	(14,584)	129%	50,000	79,140	(29,140)	158%
PRINTING	11,000	3,134	7,866	28%	11,000	1,203	9,797	11%
Administration/Office Total	895,256	909,792	(14,536)	102%	1,107,102	903,813	203,289	82%
BUILDINGS	1,231,250	1,485,309	(254,059)	121%	531,250	455,601	75,649	86%
IMPR OTHER THAN BLDGS	-	64,489	(64,489)	-	-	2,092,183	(2,092,183)	-
BUSES/TRANSIT EQUIP	1,457,420	2,588,600	(1,131,180)	178%	1,027,435	76,356	951,079	7%
Capital and Fleet Replacement Total	2,688,670	4,138,398	(1,449,728)	154%	1,558,685	2,624,140	(1,065,455)	168%
BUILDING REPAIRS	35,000	47,730	(12,730)	136%	35,000	42,661	(7,661)	122%
BUS STOPS	12,000	24,288	(12,288)	202%	12,000	4,489	7,511	37%
EQUIPMENT REPAIRS	24,000	15,650	8,350	65%	24,000	10,481	13,519	44%
FUEL, OIL & ANTIFREEZE	770,986	669,733	101,253	87%	770,986	721,433	49,553	94%
MAINTENANCE CONTRACTS	100,000	124,233	(24,233)	124%	100,000	54,929	45,071	55%
MOTOR POOL USAGE	2,700	-	2,700	0%	2,700	3,235	(535)	120%
OPERATING SUPPLIES	45,000	49,547	(4,547)	110%	35,000	67,028	(32,028)	192%
PURCHASED TRANSPORTATION	497,760	443,337	54,423	89%	497,760	291,086	206,674	58%
RENTAL PAYMENTS	7,200	7,200	-	100%	7,200	7,200	-	100%
REPAIR & MAINTENANCE	1,900,000	1,821,737	78,263	96%	1,900,000	1,668,925	231,075	88%
ROAD SAND & SALT	2,000	-	2,000	0%	2,000	-	2,000	0%
UTILITIES	80,000	118,346	(38,346)	148%	60,000	102,882	(42,882)	171%
Operation and Maintenance Total	3,476,646	3,321,801	154,845	96%	3,446,646	2,974,349	472,297	86%
SAFETY	5,000	3,779	1,221	76%	5,000	2,751	2,249	55%
INSURANCE/BONDS	55,000	212,239	(157,239)	386%	55,000	139,548	(84,548)	254%
Safety and Insurance Total	60,000	216,018	(156,018)	360%	60,000	142,299	(82,299)	237%
DUES & MEETINGS	30,500	38,844	(8,344)	127%	30,500	32,196	(1,696)	106%
EDUCATION & TRAINING	10,000	3,945	6,055	39%	10,000	7,487	2,513	75%
EMPLOYEE RECOGNITION	7,950	11,889	(3,939)	150%	7,950	24,427	(16,477)	307%
TRAVEL/TRANSPORTATION	7,000	13,520	(6,520)	193%	10,000	8,187	1,813	82%
UNIFORM ALLOWANCE	12,000	11,848	152	99%	12,000	17,508	(5,508)	146%
Uniforms, Training and Recognition Total	67,450	80,046	(12,596)	119%	70,450	89,805	(19,355)	127%
Revenue Total	(17,605,359)	(16,062,551)	(1,542,808)	91%	(14,398,920)	(17,336,277)	2,937,357	120%
Expenses Total	11,930,862	12,381,284	(450,422)	104%	11,417,185	10,153,235	1,263,950	89%
Grand Total		(3,681,267)				(7,183,043)		
Capital and Fleet Replacement Total	2,688,670	4,138,398	(1,449,728)	154%	1,558,685	2,624,140	(1,065,455)	168%
Estimated Ending Fund Balance	32,873,201							
Effect on Fund Balance This Period	457,131							

Summit County Sales Tax Report - September 2023

Good morning all, we are pleased to release the sales tax data for September 2023 and the lodging tax data for Quarter 3. Sales tax collections for the month were slightly up 1.5% compared to 2022, however year to date 2023 collections continue to exceed last year by 5.7%. Consistent with the summer months, mass transit did experience another month of decreased collections, down 2.2% compared to 2022 while year to date collections remain flat compared to 2022. As collections within town limits are retained by the county only for mass transit collections, this may indicate the towns continue to experience a larger loss of activity compared to unincorporated areas. As highlighted in prior months, construction tax collections continue to greatly exceed prior years with the year to date increase in that category offsetting many of the other declining categories and carrying the overall year to year increase. We will continue to monitor this activity closely for the remainder of the year.

A few highlights:

Sales Tax

- Sales tax collections for the month of \$649,227 are 1.5% ahead of September 2022.
- Construction sales taxes of \$46,496 are 29.8% ahead of September 2022.
- Short term lodging sales taxes of \$212,059 account for roughly 1/3 of the total are 5.73% less than September 2022.

Mass Transit Tax

- Mass transit tax collections for the month of \$1,362,337 were 2.2% less than September 2022.
- Construction mass transit taxes of \$56,550 are 42.2% ahead of September 2022.
- Short term lodging mass transit taxes of \$250,610 account for roughly 1/5 of the total and were flat compared to September 2022.

Out of State (Online)

- Sales taxes from out of state vendors amounted to \$70,122 for the month, up 51.8% from September 2022.
- Mass transit taxes from out of state vendors were \$88,334 for the month, up 14% from September 2022.

Lodging Tax

- Lodging tax collections for quarter 3 amounted to \$605,499, increasing year to date collections to \$2,749,366
- We had originally budgeted lodging tax of approximately \$4.7M based on prior year sales tax collections in the lodging category. With current collections to better estimate, we now anticipate collecting closer to \$3.7M for the full year.
- Of the YTD collections, 33.4% originated from Keystone properties, 21.6% from Copper, and the remaining 45% from outside those jurisdictions.

October 2023 sales tax results will be released in early December. Quarter 4 Lodging tax results will be released in early February. Please let me know if you have any questions and have a great day.

Kyle Snyder
Assistant Finance Director
(970) 453-3437

2023 vs 2022 Compared by NAICS Category: Transit Taxes

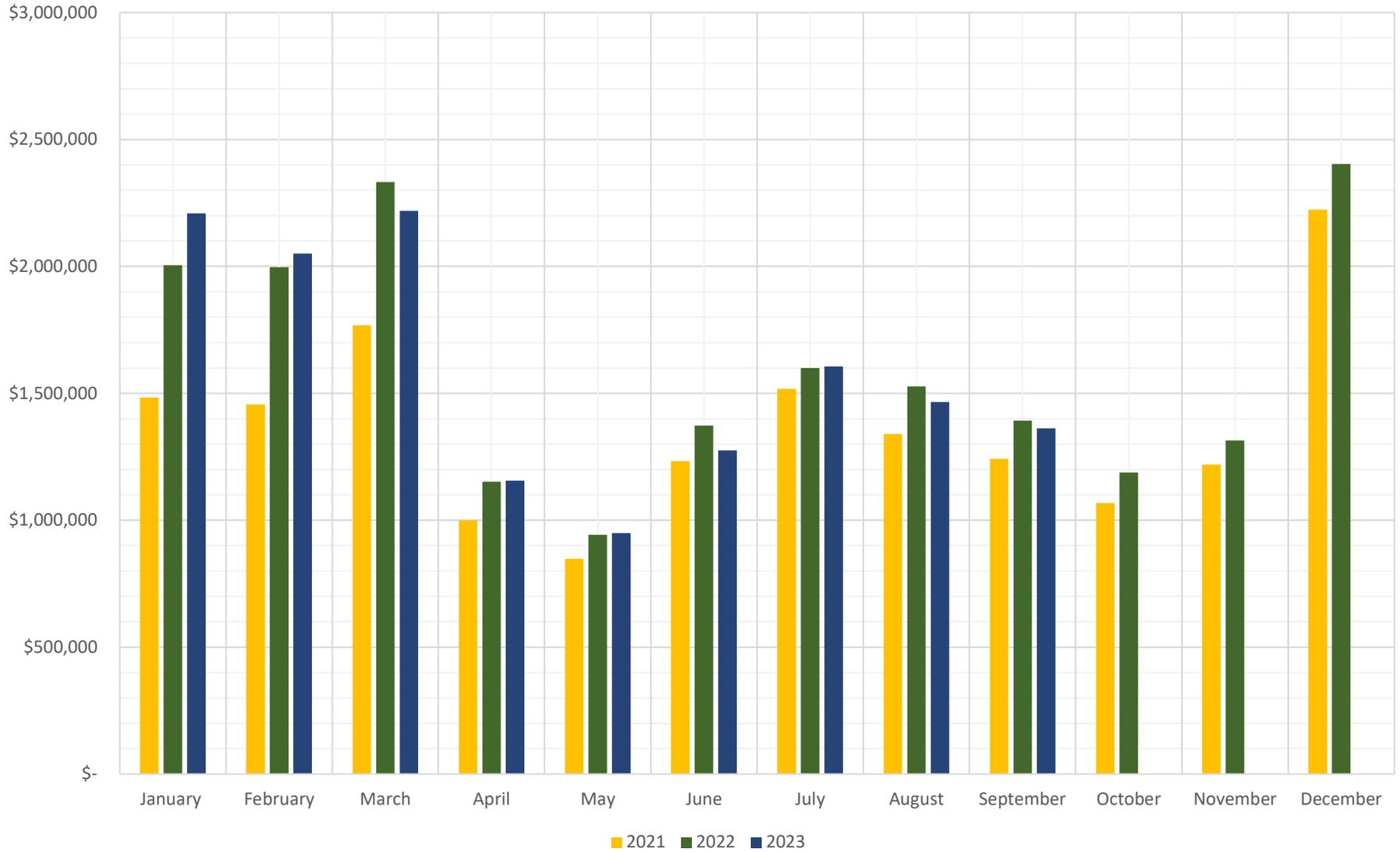
Pie Chart Data

NAICIS CATEGORY	2021	2022	2023	Difference	% Change
All Other Retail	\$ 3,482,713	\$ 3,941,569	\$ 3,647,301	\$ (294,268)	-7.47%
Construction	\$ 228,057	\$ 302,458	\$ 519,428	\$ 216,970	71.74%
Grocery Stores	\$ 1,012,656	\$ 1,209,127	\$ 1,229,749	\$ 20,622	1.71%
Liquor Stores	\$ 279,370	\$ 298,386	\$ 270,105	\$ (28,281)	-9.48%
Mining; Construction Sand and Gravel	\$ 47,597	\$ 37,251	\$ 46,001	\$ 8,750	23.49%
Other	\$ 1,067,017	\$ 1,303,980	\$ 1,393,490	\$ 89,510	6.86%
Other Entertainment and Recreation	\$ 68,483	\$ 87,898	\$ 80,019	\$ (7,879)	-8.96%
Restaurants / Bars	\$ 1,714,649	\$ 2,087,631	\$ 2,135,423	\$ 47,792	2.29%
Short Term Lodging	\$ 2,721,568	\$ 3,522,746	\$ 3,412,118	\$ (110,628)	-3.14%
Ski Facility	\$ 114,260	\$ 137,397	\$ 110,526	\$ (26,871)	-19.56%
Sporting Goods Stores	\$ 578,950	\$ 681,514	\$ 673,563	\$ (7,951)	-1.17%
Utilities and Wired Telecom	\$ 571,386	\$ 710,781	\$ 774,007	\$ 63,226	8.90%
YTD	\$11,886,705	\$14,320,737	\$14,291,730	-\$29,007	-0.20%

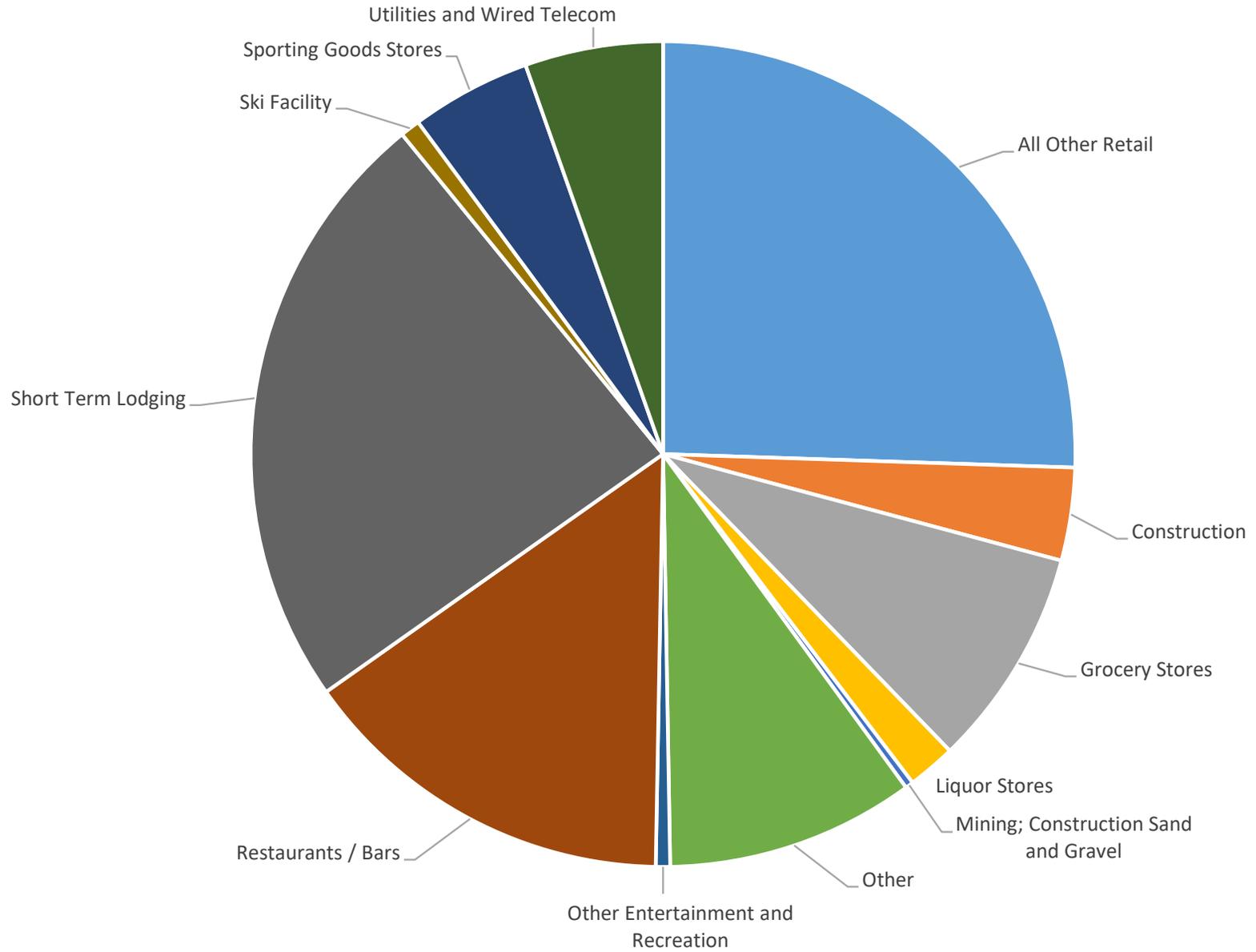
Monthly Total

Month	2021	2022	2023	Difference	% Change
January	\$ 1,483,323	\$ 2,004,063	\$ 2,208,748	\$ 204,685	10.21%
February	\$ 1,455,925	\$ 1,997,661	\$ 2,050,796	\$ 53,135	2.66%
March	\$ 1,768,890	\$ 2,331,934	\$ 2,218,683	\$ (113,251)	-4.86%
April	\$ 999,289	\$ 1,151,532	\$ 1,155,786	\$ 4,254	0.37%
May	\$ 848,612	\$ 942,155	\$ 948,798	\$ 6,643	0.71%
June	\$ 1,233,297	\$ 1,373,417	\$ 1,274,667	\$ (98,750)	-7.19%
July	\$ 1,516,762	\$ 1,599,850	\$ 1,605,566	\$ 5,716	0.36%
August	\$ 1,339,060	\$ 1,527,531	\$ 1,466,349	\$ (61,182)	-4.01%
September	\$ 1,241,547	\$ 1,392,594	\$ 1,362,337	\$ (30,257)	-2.17%
October	\$ 1,067,490	\$ 1,188,304	\$ -		
November	\$ 1,218,629	\$ 1,314,005	\$ -		
December	\$ 2,224,023	\$ 2,403,551	\$ -		
YTD	\$ 11,886,705	\$ 14,320,737	\$ 14,291,730	\$ (29,007)	-0.20%
Total	\$ 16,396,847	\$ 19,226,596	\$ 14,291,730	\$ (4,934,866)	-25.67%

Combined Monthly Total: Transit Tax



2023 NACIS Categories Compared: Transit Taxes





NOVEMBER & DECEMBER 2023

UPDATES

Microtransit:

- The 2nd Stakeholder meeting will be tomorrow, Dec 7 1030-1200.
- Most of the research has been completed, now it's time to analyze the results & see what type of service should be offered & how much.

Winter Service:

- The schedule change went smoothly. We have added Summit Cove to the AM & PM express buses from Frisco to A Basin.
- We have not had a surge of J1's yet; still waiting to see where we will need our AM express bus.

PROCEDURE FOR CHANGES:

- At the Oct 25, 2023 meeting I was tasked with coming up with a proposal for how the Transit Board goes about making a policy, change in service or adding a bus stop.
- Back in 2016 our former Operations Manager came up with a very detailed flow chart describing the pathway for the board to approve or disapprove a change. This flow chart was presented to the board back then; but, it is currently thought that the main purpose of this flow chart is a way to say “no”.

PROCEDURE FOR CHANGES, con't:

- After searching the internet to see how other Transit Boards/Advisory Committees have addressed this, I came up with zero for a simple document/form.
- It appears, and is Chris's viewpoint, that the way most Transit Boards operate is that they are presented with an idea, a planner reviews/investigates the idea and then decides if a study and/or survey is needed to gauge the need and the public's desire.

PROCEDURE FOR CHANGES, con't:

- If the idea is deemed worthwhile, further review is done to layout the route/stop/or whatever is desired.
- Once a final plan is deemed ready to go it is presented to the board/public/neighborhood as needed for final input.
- The idea is then put into action and once it's been in use for several months to a year, a review should be done to see that it has had the desired effect.



TRANSIT DEPARTMENT

970.668.0999 ph | 970.668.4165 f
www.SummitStage.com

0222 County Shops Rd. | PO Box 2179
Frisco, CO 80443

SUMMIT COUNTY TRANSIT BOARD MEETING

Wednesday, October 25, 2023, 8:15 a.m.

SUMMARY MINUTES

I. CALL TO ORDER

The monthly meeting of the Summit County Transit Board on Wednesday, October 25, 2023, was called to order by Chair, Kent Willis at 8:15 a.m.

II. ROLL CALL

Board Members present and answered to the roll call were:

- Kent Willis, Chair – Town of Frisco
- Becky Bowers (remotely) - Upper Blue Basin (At Large Member)
- Tony Camarata – Arapahoe Basin Ski Resort
- Katrina Doerfler - Lower Blue Basin (At Large Member)
- Cindi Gillespie – Copper Mountain Ski Resort
- Scott Hoffman – Summit County
- Matt Hulsey – Town of Breckenridge
- Susan Juergensmeier – Snake River Basin (At Large Member)
- Tom Koehler (remotely) - Ten Mile Basin (At Large Member)
- Elisabeth Lawrence – Summit County
- Chris McGinnis – Town of Frisco
- Ted Pilling – Town of Blue River
- Scott Verlinde – Keystone Ski Resort

Guests present: Miriam Garcia, Mountain Dreamers; Candace De, Frisco; Paul Obolewicz, Frisco; Dave Rossi, Summit County (remotely), Todd Ruelle, Breckenridge.
Staff present were as follows: Chris Lubbers, Transit Director; Alex Soto, Operations Manager; Ann Findley, Planner; Tracy Colvin and Vivian Pershing, Administration.

III. APPROVAL OF MINUTES AND AGENDA

The minutes from the September 27, 2023, Summit County Transit monthly meeting and October 25, 2023, meeting agenda were reviewed. Tony Camarata moved to approve the minutes with a second by Katrina Doerfler. Cindi Gillespie moved to approve the agenda, second by Mr. Camarata. Motions carried.

IV. RECOGNITION OF GUESTS AND PUBLIC COMMENTS

Guests were welcomed. Todd Ruelle made a public comment requesting a Breckenridge neighborhood bus route on Ski Hill Road near Peak 7 with a Trail Head bus stop endorsed by the National Forest Service and Vail Resorts. Board comments included remarks of unpaved rural roads, micro transit opportunities, and being behind in restoring our existing bus service and other projects.

V. MONTHLY UPDATE ITEMS

A. Member Expirations, Renewals, New Candidates, etc.

Chris Lubbers introduced Candace De and Paul Obolewicz, as applicants for the Ten Mile Basin Board position who were invited to share of their community interest and transportation experience. Board

inquiries included topics of grant or funding experience, local needs and transit improvement suggestions. Applicant recommendations will be given to the Board of County Commissioners. A request was made that an additional representative-Transit Board member could be for underserved groups or citizens. Elisabeth Lawrence will get input from the Equity Diversity Inclusion Council. Mr. Lubbers pointed out the 2021 Equity and Access study delved into identifying local neighborhoods needing transit service.

B. Transit Director Financial Report and Latest Sales Tax Information

Mr. Lubbers reviewed the Transit Financial Summary, Sales Tax Data and Budget Report in detail, focusing on current revenue, labor, administration/office, capital and fleet replacement, operation and maintenance, safety, training and recognition along with beginning and ending fund balances. A budget statement of current and previous year operating revenue and expenses for expended year-to-date to September 30, 2023 and available budget percentages were given. Financial Report was approved.

C. Operations and Maintenance Report

Alex Soto discussed the Transit Operations Summary in detail, focusing on current fixed-route passenger counts, and ridership changes by route, comparing fixed route hourly service in 2022 to hourly service in 2023 with a 2.0% decrease in September 2023, primarily Keystone/Dillon/Silverthorne and Frisco/Silverthorne routes. She noted increases in Blue River and Park County Commuter routes and Purple (Free Ride Contract) route. Ms. Soto discussed bus operator staffing, training, recruiting efforts, and safety metrics. She reviewed maintenance technician staffing, work orders, bus and para transit availability, in and out of contract availability percentages, warranty issues, road calls, costs, preventative maintenance, bus performance (bus mileage and age), parts availability and budget impact. Ms. Soto mentioned one new 40' Gillig bus arrived awaiting title paperwork and radio electronics. Board members were invited to attend the annual Stage employee appreciation celebration when safe driver awards are presented. The Operations and Maintenance Report was approved unanimously by the board present.

VI. AGENDA ITEMS

A. Transit Planning Update

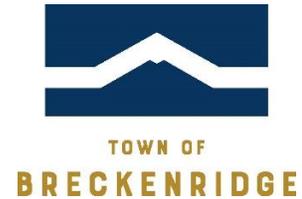
Ann Findley discussed the micro-transit feasibility study assessing peer reviews of three other agencies using micro-transit in communities similar to ours, giving successes and challenges. Goals of the study are to service the first/last mile, to possibly expand our operating area within county limits, and engage the public through social media and surveys. The scope is to provide services to write and apply for suitable funding to hire a company to operate a county system. The rough timeline would have the study complete by March of 2024 and hire an operating company to start up by Fall of 2024.

Ms. Findley gave an update on the winter schedule with seven additions to include extra morning trips for Copper and a standby bus, an am and pm express from Frisco to A Basin and Silverthorne to Breck, an extra pm Boreas and Breck to Frisco, along with extending night service, until approximately 1am.

B. Capital Projects

Mr. Lubbers discussed bus stops at Razor Drive and Swan Meadow, shuttle service, transit building housing projects and management on the Little Beaver Trail employee housing renovation project and the Fleet Storage, Charging and Operations Facility, as well as bus purchases. 2024 meetings reviewed.

Adjournment The meeting was adjourned at 9:40 a.m.



Memo

To: Breckenridge Town Council Members
From: Jon Dorr, Assistant Director of Recreation
Date: 12/6/2023
Subject: Breckenridge Events Committee

The Breckenridge Events Committee met on December 6, 2023. Below you will find the meeting minutes and a link to the SEPA calendar. The Lighting of Breckenridge and Race of the Santas event was reviewed with positive feedback and some potential improvements for 2024. The recruitment process for a new committee vice chair was shared along with our recommendation of Jeff Edwards. If approved Jeff will begin serving in January. There are no additional items of note.

**Minutes
Breckenridge Events Committee
Wednesday, Dec 6, 2023**

Attending: Michele Chapdelaine, Kelly Owens, Jon Dorr, Lucy Kay, Ken Miller, Carrie Benefiel, Dave Felle, Cait McCluskie

Guests: Jeff Edwards, Sarah Wetmore, Majai Bailey, Bill Wishowski, Mike McCormack, Kat Slaughter, Ashley Zimmerman, Hayden van Andel, Thomas Messerschmitt

Right event, right time, right result

I. Call to Order

- a Michele Chapdelaine called the meeting to order at 9:01am.
- b Committee Chair took roll call.
 - A motion was made to approve the Nov 1, 2023, Meeting Minutes. M/S/P

II. Upcoming Events

- a **12.7.23 60th Anniversary of Ullr Fest**
 - **Thursday**
 - Helmet decorating party @ Ready Paint Fire.
 - 3:30pm crowning of Ullr King and Queen.
 - 4pm World's Longest Shotski unofficial world record breaking attempt on Main St. hosted by Rotary and Breck Distillery.
 - 4:30pm Ullr Parade. In honor of 60th anniversary doubling parade prize money; \$2,000 for 1st place, \$1,500 for 2nd place and \$1,000 for 3rd place. Currently have 37 parade entries.
 - **Friday** - Harford Ski Spectacular @ Breck Ski Resort and Ullr Comedy Night @ RWC.
 - **Saturday** - Winter Ice Skating Show at Ice Arena and High-Country Concert Band @ RWC.
- b **International Snow Sculpture Competition @ Tiger Dredge Lot**
 - 1.15-19.24 Tech Week / Build Blocks
 - 1.22-26.24 Comp Week / Carving
 - 1.27-31.24 Viewing – strike on Feb 1.

- The Ski Area has agreed to move snowmaking back to the base of Peak 9.

c 2.23-25.24 The Breckebeiner Nordic Race @ Gold Run Nordic Center

- The Breckebeiner will serve as USA Triathlon's Winter National Championship in 2024 and 2025. The event benefits the BOEC, Team Summit and the Summit HS Nordic and Mountain Bike teams.

III. General Updates and Discussions

a Vice Chair Update

- Position was posted Oct 6 – Nov 3 with Spanish translation. Goal to fill with another committee member at large. Town convened a small nominating panel to interview candidates.
- Unanimous decision by the Nominating Panel to recommend Jeff Edwards as the new BEC Vice Chair and Community Member at Large. Next step will be for Town Council to formalize.

b Update on Robin the Trash Guy – Town is still in the process or exploring options with Launch Media.

c Breck Bike Week in partnership with Breck Epic – Committee received an overview of highlights planned for Breck Bike Week. Integrating with Breck Epic's programming.

- Ritual Mountain Bike Film Festival, Bike-in movie, DJ DC spinning on top of Ollie's during a dredge boat bike crossing, Mayor's Ride, industry demos.

IV. Review Past Events

a 12.2.23 Lighting of Breckenridge & Race of the Santas

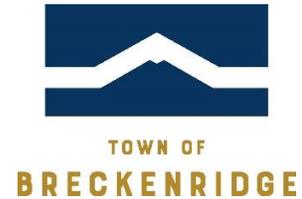
- 497 dogs registered. 700 Santas and 100 Moose Kids. Great positive feedback around Town employee Robert Hook playing the 'official' Santa.
- SEPA Group identified some areas for improvement related to sound amplification in Blue River Plaza. PD also opened streets back up earlier than planned.

V. Next BEC Meeting **Wed Jan 10, 2023 (in-person @ Town Hall Lower Conference Room)**

VI. The meeting was adjourned at 1:46pm.

The Breckenridge Events Committee evaluates events against four strategic goals:

- **Build Business** - An event designed to drive revenue for greater business community.
- **Branding/Media** - An event designed to draw external media (national & international) promoting the Breckenridge brand.
- **Fundraising** - An event designed to raise awareness and funding for a non-profit organization's mission.
- **Resident Focused** - An event designed specifically for residents vs. an event more broadly marketed to visitors and residents.



Memo

To: Breckenridge Town Council Members
From: Jon Dorr, Assistant Director of Recreation/Programs
Date: 12/4/2023
Subject: Recommendations for Breckenridge Events Committee- Member at Large

The Breckenridge Events Committee (BEC) consists of fourteen (14) members, twelve standing member organizations and two at-large community members, appointed by the Town Council. One of the at-large seats was recently vacated when Maddie Schilling moved out of Breckenridge.

A recruitment was opened on October 5th and ran through November 3rd. Community outreach pertaining to the vacancy was done through the following mediums in both English and Spanish. The vacancy was posted on the Town of Breckenridge website, TOB social media platforms (Instagram, Facebook, Twitter), Connect with Breck Newsletter, Town Council Recap, and several Summit Daily Ads.

Through the recruitment we received ten (10) applications for the opening.

After a review of all applications, Six (6) finalists were chosen for a panel interview consisting of Sarah Wetmore (BEC Administrator), Kelly Owens (Town Council Representative), Michele Chapdelaine (BEC Board Chair), and Jon Dorr (TOB Committee Representative).

Through the interview process the panel came to the recommendation that council should appoint Jeff Edwards to the open committee seat.

If Council agrees with the committee recommendation, an appointment may be made by motion during the Regular meeting. A sample motion follows:

Motion: "I move that we affirm the Breckenridge Events Committee selection committee's recommendation by appointing the following individual to the Breckenridge Events Committee for a term of four years: Jeff Edwards beginning in January 2024.

Memo

To: Breckenridge Town Council Members
From: Mack Russo, Community Engagement & Outreach Liaison
Date: 12/5/2023 (for 12/12/2023 Council Meeting)
Subject: Recommendations for Breckenridge Social Equity Advisory Commission Appointments

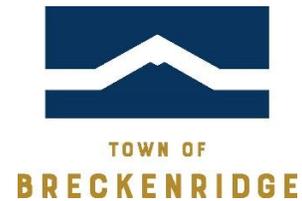
As of December 2023, the Breckenridge Social Equity Advisory Commission has three vacancies following the expiration of the three-year terms of Commissioners Jordan Burns, Jason Smith, and Joyce De La Torre. The commission vacancy was advertised in both English and Spanish across various platforms, resulting in eight applications.

The selection committee, comprising Town Council member Carol Saade, June Walters, Eliana Crabb, and staff Mack Russo, reviewed all applications and subsequently interviewed five of the applicants. After careful consideration, the committee strongly recommends the following appointments:

- Jordan Burns (reappointment for a second term)
- Isaura Cirillo (former commissioner)
- Jotwan Daniels

If the Council agrees with the committee's recommendations, a motion may be made during the Regular Meeting to finalize the appointments. A sample motion is provided for your convenience:

Motion: "I move that we affirm the recommendation made by the selection committee of the Breckenridge Social Equity Advisory Commission and reappoint Jordan Burns for a second term, and appoint Isaura Cirillo and Jotwan Daniels as members of the Commission for a duration of three years, beginning in January 2024."



Memo

To: Town Council
From: Planning Staff
Date: December 6, 2023, for the meeting of December 12, 2023
Subject: BGV Peak 8/ Gold Rush Lot Development Summary Analysis

During this worksession we will revisit unresolved items from previous worksessions related to Breckenridge Grand Vacations (BGV) Parcels 2 and the newly proposed Parcel 7 (Entrada site). Staff will summarize various discussion points by parcel and outline the code-based ramifications of those proposed development concepts.

Staff Analysis of the Proposed Development Concepts

Parcel 2 (North Goldrush Lot) and Parcel 7 (Entrada Site)

Density: The proposed employee housing programming has changed from the November 28th meeting. The concept now proposes 60,609 sq. ft. of employee housing density spread over Parcel 2 and a new Parcel 7, the Entrada site at the corner of Highway 9 and County Road 450. BGV is committed to building 24,992 sq. ft. of this total for required employee housing mitigation related to development on Parcel 4 within the new Parcel 7. Programming proposed on Parcel 2 now includes eight 6-bedroom dorm units totaling 25,582 sq. ft. An exact proposal for the Entrada site has not been determined but previously the Council reviewed plans related to a workforce housing proposal on the Entrada site that featured 66 studio units totaling 35,027 sq. ft. These plans are included in the packet. Staff acknowledges that the 35,027 square feet of housing at Entrada is the maximum potential for the site and that final development permit plans may end up with a somewhat smaller square footage of housing on the site in order to receive a passing point analysis from the Planning Commission. The Commission and staff had previously indicated concerns with minimal site buffering, landscaping, and snow stacking with the previous Entrada plans.

Density for the workforce housing on Parcel 2 is proposed to come from the Town's pool of density it controls. Density for the Entrada site is requested to be a combination of the site's existing allowed density, density to be transferred from the Gondola Lots Master Plan area (for all density BGV is required to provide for employee mitigation under Policy 24A of the Development Code), and supplemented with additional transferred density supplied by the Town.

The Entrada parcel is located outside of the Town limits in Unincorporated Summit County. The applicant and Town Council previously were previously engaged in discussions for the property to be annexed into the Town and developed as workforce housing. The most recent review of the property was a worksession with the Planning Commission on October 18, 2022, where the Commissioners recommended to the Council the property be placed into Land Use District (LUD) 5 upon annexation. The designation of LUD 5 is consistent with the existing LUD map, however since the property was to be annexed it is required to have an official LUD designation upon annexation. LUD 5 recommends residential density at 10 Units Per Acre (UPA). Based on the recommended limit of 10 UPA, the 1.415-acre site allows 14.15 SFES of density (16,980 sq. ft.) for use as workforce housing. Understanding the

workforce housing on the Entrada site is proposed to exceed 16,980 sq. ft., the applicant will need to transfer an additional 8,012 sq. ft. (6.68 SFEs) to the site from the Gondola Lots Master Plan Area to cover the required employee mitigation of 24,992 sq. ft. The remainder of density for the additional housing onsite is requested to be transferred to the site by the Town to cover any additional deed-restricted units not needed to meet BGV's employee mitigation.

Under the current code and the proposed LUD 5 for the Entrada site, both sites could require up to 50.5 SFEs of density, 21.2 SFEs of which are for the required housing mitigation (to be provided by the applicant's density pool). The remaining 29.3 SFEs are for additional employee housing beyond what is required by Code.

Understanding there will be some design refinement at the site-specific level, the applicant has requested the Town provide up to 29.3 SFEs of density to cover the additional employee housing units above that required by Code (Policy 24A) through the Development Agreement, subject to fit tests conducted at site specific reviews.

Does the Council support transferring up to 29.3 SFEs of Town-owned density to the property for all density beyond the 21.2 SFEs that BGV will use from their density pool for their required housing units?

Building Height: The building height of the workforce housing building shown on Parcel 2 is just below 38', three stories by code, when measured to the tallest point in the center of the eastern façade to the proposed grade. The land use guidelines discourage buildings that exceed two-stories but further clarify that "buildings of three stories may be acceptable only if situated in such a way that the hill to the west provides an appropriate backdrop, and sufficient trees are left to the east to provide adequate screening. Staff believes that due to the backdrop of Shock Hill and the proposed amount of tree buffer to the east, three-stories is an acceptable height and therefore negative points are not recommended.

Does the Council agree with the staff's point analysis of building height on Parcel 2?



Parcel 2 Aerial View (Maximum Building Height Depicted in Red)

Baseline Rent and Maximum Yearly Rent Increase: The proposed concept features 72 units over the two sites: 66 studio units on Parcel 7 and eight 6-bedroom dorm units on Parcel 2 totaling 114 beds. Overall, this is a decrease of 20 units and 29 beds compared with the previous design. The 6-bedroom dorm units are designed to be flexible so that the bedrooms can be rented individually. The 6-bedroom

dorm units feature a shared living room and kitchen with each bedroom having its own bathroom and the ability to be locked. Detailed floor plans are included in the packet.

The recommended Area Median Income (AMI) formula does not list dormitory style housing, so there is not a specific formula for setting the rent caps for dorms on that chart. Whatever the Town decides for rental caps will set some precedent and will need to be spelled out in the Development Agreement. A formula for initial rents as well as increases over time will need to be specified in the Development Agreement.

After the October 24th worksession, Housing Division staff met with the applicant to discuss appropriate baseline monthly rents and annual rent appreciation. From this discussion, the applicant requests to limit the rental of the developer-provided density studio units to 100% Area Median Income (AMI) (\$1,940 per month). The studio unit rentals that require Town of Breckenridge-provided density are proposed to be limited to 60% AMI (\$1,164). The Town of Breckenridge-provided density dorm-style bedroom rentals are proposed to be limited at 85% of the rate of a 60% AMI studio unit (\$989), which is a 5% decrease from what BGV had proposed at the previous worksession. The applicant further requests that upon Development Agreement approval, the initial rates above to escalate at 2.0% annually until construction is complete and then after the project receives a certificate of occupancy annual rents escalate at 3.0% annually in perpetuity. Housing Manager Laurie Best is supportive of the rent structure proposed above.

The attached memo, provided by the applicant, details how workers making minimum wage at BGV, Vail Resorts, and other in-Town businesses could afford to live in the studio and dorm style units. BGV's current minimum wage is \$21.75 per hour which according to the AMI table translates to an affordable monthly rent of \$1,131 ($\$21.75 \times 2,080 \text{ hours worked} / 12 \text{ months} \times 30\% \text{ affordability rate}$) which lands just shy of the studio unit rent rate above. Vail Resorts current minimum wage is \$20.00 per hour which translates to an affordable monthly rent of \$1,040 per month. The proposed dorm rental rates translate to a \$19.01 hourly wage according to AMI affordability standards.

In addition to the proposed rent prescriptions, all units will be deed restricted with the standard deed restriction terms listed in the Town Administrative Housing Rules and Regulations shown below.

The Administrative Housing Rules and Regulations (adopted in October 2022). Article 3. A., B., and C. state:

“A. Minimum Lease Term: When rental of an affordable workforce housing unit is authorized, all rental contracts shall be at least three (3) consecutive months in duration. Any such tenancy approved by the Town of Breckenridge shall be to a person meeting the definition of a Qualified Occupant. Unrelated roommates must all be qualified occupants and must all be included as tenants on the lease.

B. The Town will establish a maximum rental rate for each rental unit based on factors including the market conditions, the type of development and/or the AMI targets.

C. Use as a Short-Term Rental Prohibited: Rental units may not be used for or be eligible for short-term rental as defined in title 4 of the municipal code.”

Staff supports the revised baseline monthly rents, maximum annual rent increases and use of the standard deed restriction as proposed.

[Does the Council support the proposed baseline rents and maximum yearly rent increases?](#)

Parking: The revised design has eliminated the multi-level parking structure in favor of the 412 required parking spaces (400 required skier parking spaces and 12 required residential parking spaces) being accommodated onsite as surface parking. At previous meetings, the Council was supportive of establishing the North Gondola Lot's parking capacity at 610 spaces based on historical parking count data. This results in the Gold Rush lot needing to accommodate 400 spaces to meet 2004 parking agreement's required total of 1,560 parking spaces (South Gondola Lot 550, North Gondola Lot 610,

North Gold Rush Lot 400). Staff supports the revised parking design that eliminates the need for a large, multi-level parking structure.



Parcel 2 Workforce Housing and Parking as Viewed from Park Avenue

Pedestrian Crossing:

Pedestrian circulation for guest parking in the Gold Rush lots and the proposed residential developments on Parcels 2 and 3 is an important factor to consider for both safety and impacts to traffic flow on Park Avenue. The French Street and Park Avenue intersection is currently unsignalized without crosswalks for east/west pedestrian movements. A roundabout is proposed to be constructed at the French Street/Park Avenue intersection as part of the infrastructure for the project. Shuttle buses are currently provided by the ski area between the Gold Rush parking lots and the gondola base at the Transit Center on days that the overflow parking is utilized. Gold Rush parking data for the 2022/2023 winter season illustrates that the lots were utilized for 17 days and reached 100% capacity on only four days. The number of days the Gold Rush overflow parking is utilized is expected to increase as skier parking in the Airport Road lot is reduced for housing development by the Town; however, recent data has not been collected on the number of days parking exceeds 500 vehicles in the Airport Road lot.

Staff has worked with the applicant to assess proposed improvements for pedestrian circulation for both the proposed housing and ski area parking. Two feasible options have been determined for consideration by the Council for pedestrian circulation from Parcels 2 and 3. Staff recommendations are predicated on a current design of a parking lot of 412 vehicles, 16 duplex units, and 48 employee housing “beds” between the parcels.

Option 1: Shuttle System, Woods Drive ROW Connection, Standard Roundabout Crosswalks:

The preferred alternative for pedestrian management for Parcels 2 and 3 is a multifaceted approach that limits the number of parking lot users crossing Park Avenue during afternoon peak traffic times and provides standard crosswalks at the proposed roundabout. In this option, the shuttle system would continue to be the circulation mode for a majority of the trips between the parking lot and the gondola. Understanding that some people may desire a more direct and walkable connection to the Gold Rush parking from the ski resort, Staff is also proposing signage and wayfinding be provided from the existing Skiway Skyway connection to the Woods Drive public ROW for direct pedestrian access to the parking lot and proposed housing. The east/west crossing at the French Street/Park Avenue intersection for residents would be provided with crosswalks at all four legs of the new roundabout. Once final pedestrian

crossing numbers are determined in the final Traffic Impact Study for the intersection, additional safety measures such as pedestrian flashing beacons and extended medians on Park Avenue will be considered as part of the roundabout design.

Staff recommends this option for managing pedestrians and reducing peak-hour crossings on Park Avenue.

Option 2: Grade-separated Crossing on Park Avenue: The feasibility of a grade-separated pedestrian crossing at the French Street/Park Avenue intersection has been examined and found to be a viable option. Four alternatives (attached) were considered, and Tunnel B was selected as the best alternative for a grade-separated crossing due to the utility alignments and the shortest underground tunnel span. The bridge option was not selected due to the intensity of the utility impacts, the need for heated sidewalk ramping on the west, a requirement for an elevator on the east landing to meet ADA, and the aesthetic impact of the bridge span crossing Park Avenue.

Construction of a pedestrian tunnel under Park Avenue would be a complex project requiring extensive road closures, possibly over two construction seasons, and the re-routing of utilities in the corridor. All utilities within the Park Ave corridor will be impacted by the construction of an underpass. Fiber, communications, natural gas, and electric lines would be adjusted and installed above the new tunnel crossing. The existing 16" water line would need to be lowered to pass under the tunnel and the 24" sanitary sewer line would be relocated west in order to adjust the grade of the gravity fed line. In addition to the temporary construction impacts, on-going impacts of this option include the need to heat the ramping and sidewalk on both sides of the tunnel for public safety due to the steep grades transitioning down to the tunnel elevation. While a tunnel crossing for pedestrians has proven to be a technically feasible option, this sizeable infrastructure project is not recommended for the pedestrian volumes expected from the proposed re-development of Parcels 2 and 3.

Staff agrees with the applicant that continuing the shuttle system for guests accessing the gondola from the Gold Rush parking lot, adding signage highlighting the connectivity to Woods Drive and the parking lot from the Skiway Skyway and accommodating east-west crossings for residents at the proposed roundabout at French Street/Park Avenue is the best approach to managing pedestrian circulation for Parcels 2 & 3.

[Does the Council support the proposed Option 1?](#)

Traffic and Circulation on Ski Hill Road and Park Avenue

Staff has reviewed the updated Traffic Impact Study (TIS) for the East Peak 8 development prepared by Kimley-Horn and Associates, Inc. This TIS is an update to the previously approved study by Kimley-Horn dated February 17, 2020 for the East Peak 8 Hotel project. The updated study includes the proposed Parcel 6 lots and the updated product mix for the Parcel 4. In 2020, the Town engaged Felsburg, Holt & Ullevig to review the East Peak 8 Hotel TIS and found it in conformance with engineering best practices. The methodology of the updated TIS closely follows with the 2020 report and therefore Staff did not engage a consultant for a third-party review of the updated TIS.

The components of a TIS include assigning trip generation numbers for each development type, modeling the Level of Service (LOS) and vehicular queuing for relevant intersections and access points, and providing recommendations for improvements of the intersections. The modeling used in a TIS is not comprehensive for the entire roadway network of the Town and thus should not be viewed as an exact reproduction of traffic conditions within our community. The TIS model is a tool to compare future traffic conditions with and without the proposed development.

Trip Generation The traffic counts and trip generation assignments for the project are conservative in nature and found to be acceptable. The proposed changes in the project from the 2020 TIS have resulted in a decrease of daily trips during the AM peak and PM peak by 42 and 48 vehicular trips, respectively. Per the updated TIS, traffic onto Park Avenue will now only increase by 6% and will therefore not meet the 20% increase threshold for a CDOT Access Permit.

Intersection Level of Service (LOS) Four intersections were studied in the TIS including Ski Hill Road/4 O'clock Run Road, Ski Hill Road/Park Avenue, Ski Hill Road/Main Street, and 4 O'clock Road/Park Avenue. All intersections were shown to have decreases in LOS over the 2045 planning horizon with and without the traffic associated with the development due to the projected background growth in traffic.

The Ski Hill Road/Park Avenue intersection LOS table copied below is from the updated TIS for current conditions (2023 adjusted), 2027, and 2045. It is important to understand that Ski Hill Road currently experiences LOS E & F on peak days, meaning the number of vehicles on the roadway exceeds the roadway capacity under today's conditions as shown in the table. The overall intersection LOS degrades from LOS D to LOS E for afternoon peak in 2045 with or without the project. In 2045, the AM peak hour LOS degrades from a LOS C to LOS D as a result of the project.

The analysis in the TIS recommends improved signal timing at Park Avenue and Ski Hill Road. Past discussions between Staff and CDOT indicate that CDOT is unwilling to change signal timing; therefore, Staff is utilizing the LOS results for the current signal timing in our review.

Table 6 – Ski Hill Road & Park Avenue (SH-9) LOS Results

Scenario	Saturday AM Peak Hour		Saturday PM Peak Hour	
	Delay (sec/veh)	LOS	Delay (sec/veh)	LOS
2023 Adjusted	27.3	C	44.6	D
Eastbound Approach	48.1	D	86.6	F
Westbound Approach	41.9	D	65.6	E
Northbound Approach	15.4	B	20.5	C
Southbound Approach	16.6	B	21.5	C
2027 Background	29.6	C	49.4	D
Eastbound Approach	44.5	D	103.1	F
Westbound Approach	36.0	D	66.4	E
Northbound Approach	22.1	C	22.7	C
Southbound Approach	22.8	C	23.4	C
2027 Background Plus Project	31.4	C	53.4	D
Eastbound Approach	41.4	D	104.1	F
Westbound Approach	32.4	C	62.2	E
Northbound Approach	26.1	C	26.4	C
Southbound Approach	27.9	C	27.6	C
2045 Background	33.9	C	58.6	E
Eastbound Approach	40.6	D	114.0	F
Westbound Approach	31.5	C	71.4	E
Northbound Approach	31.6	C	31.7	C
Southbound Approach	32.8	C	32.8	C
2045 Background Plus Project	37.0	D	63.2	E
Eastbound Approach	37.6	D	115.6	F
Westbound Approach	28.0	C	66.6	E
Northbound Approach	38.1	D	36.7	D
Southbound Approach	41.0	D	38.6	D

Queuing Analysis The queuing analysis performed for the TIS indicates that the 150' eastbound and 100' westbound left turn lane bays on Ski Hill Road at Park Avenue are not adequate and should be restriped to 325' and 150' respectively. Staff understands that the proposed restriping does not require any additional roadway width on Ski Hill Road and estimates the cost to be approximately \$10,000. The applicant should be required to implement the turn lane changes as part of the project.

Additional Public Improvements The pedestrian facilities at the intersection of Ski Hill Road and Park Avenue do not meet current standards for ADA accessibility. As a public benefit, the applicant has proposed to upgrade the ADA curb ramps and pedestrian push buttons for the crosswalks. Staff performed a high-level cost estimate for the additional pedestrian improvements and anticipate costs to range between \$275,000-\$350,000 for the design and construction. The applicant would be responsible for the design, permitting, and installation of the pedestrian improvements.

Understanding that designing an effective solution to mitigate the existing and future traffic and pedestrian issues at the Ski Hill Road and Park Avenue intersection will take longer than this Development Agreement process, the applicant has offered to contribute up to \$500,000 towards future improvement and mitigation options.

[Does the Council find this proposed traffic mitigation contribution acceptable?](#)

Proposed Community Benefits

Provided below is a list of proposed community benefits offered by the applicant in exchange for this Development Agreement.

1. Density will be moved out of the Town core to the Peak 8 Base area (Parcels 4, 5 and 6).
2. The Master Plan Amendments and the transferred density will be required to comply with the current Development Code that no longer contains the mass bonuses. Thus, more density is required to be used for a project's components, like corridors, mechanical rooms, and other non-habitable areas. The currently vested Gondola Lots Master Plan that allows mass bonuses will be required to be modified to exclude mass bonuses.
3. No vertical construction will take place on the North Gondola Lot. Rather, it will remain as a surface parking lot and be improved with drainage, landscaping, and lighting to better conform to current Development Code requirements.
4. Additional workforce housing beyond what is required by Code will be constructed on property controlled by the applicant, utilizing the applicant's construction services and managed by an entity separate from the Town. No land, construction or future management costs will be incurred by the Town associated with the workforce housing proposed with this Development Agreement.
5. A financial contribution of the actual costs, up to \$500,000, for Ski Hill Road and Park Avenue intersection improvements.
6. A contribution to the Sol Center at Alta Verde to help in their capital fundraising campaign.
7. Cucumber Gulch improvements. The Lionheart Development Agreement is to be extinguished and the following will be provided in its place:
 - a. Establish with the Town an environmental improvement fund dedicated to drainage and similar improvements to protect Cucumber Gulch funded by a fee of \$2/rental room night tied to building's operation in perpetuity. Previously, the \$2 fee was only charged to hotel rooms for 20 years in the Lionheart Development Agreement.
 - b. A one-time \$125,000 contribution to the Town for Cucumber Gulch Improvements. (This was in the previous Lionheart Agreement and will be agreed to again.)
 - c. Annual detention pond maintenance of the nearby pond in the PMA. (This was not in the previous Development Agreement, but rather a condition of approval for the previous hotel project.)
8. Abandoning access from Sawmill Run Road (This was provided for in previous Lionheart Development Agreement.)

Does the Council find the proposed community benefits adequate?

Parcel 1 Concept (North Gondola Lot)

The Council supported the site to be used as surface parking and memorialize the site to qualify as 610 parking spaces based on historic parking counts. The Council also supported the construction of water quality and detention improvements to bring the site into compliance with the Town's engineering standards. The Council recommended the provision of minimal additional lighting to the parking and pedestrian areas, and a limited amount of additional landscaping along the eastern and northern sides of the site. They further believed that no additional snowstack areas should be provided to retain all existing parking areas. The Council also desired a commitment to have a parking attendant on site from 6 am to 3 pm, or until the lot is filled each day during the ski season.

Parcel 3 Concept (South Gold Rush Lot)

Council supported the conceptual plan for 16 duplex units that minimized wetland disturbance to 0.1 acres. To offset this wetland disturbance, a 2:1 credit purchase from the Colorado Western Slope In-Lieu Fee Program's Blue-Eagle Service Area for the wetland mitigation was found to be acceptable. The Council also supported the conceptual tree preservation and replanting plan. Relief to exceed the Engineering Standards for driveway cross-slope, and an allowance to have more than four residences served by a private driveway was supported by the Council.

Parcel 4 Concept (East Peak 8 Hotel Site)

Council generally supported the conceptual building design, placement, and programming that features 78 condominium units, 69 additional lock-off keys, 36 hotel rooms, a 4,346 sq. ft. restaurant, a 5,200 sq. ft. spa, 22,037 sq. ft. of interior amenity space and 1,524 sq. ft. of space for the BOEC. The concept also requires 162 parking spaces with support of Council for an additional 35 spaces to be used exclusively by Vail Resorts employees and 6 oversized spaces for exclusive use by the BOEC. Council also supported exempting the underground parking garage from density and allowing two curb cuts from Ski Hill Road. Council also supported the proposed three-step approach to comply with the Town's REMP requirements.

1. Provide solar on-site.
2. Provide solar on BGV controlled properties within the Town.
3. Payment of a fee in lieu if the required REMP offset is not accomplished prior to Certificate of Occupancy (CO).

Parcel 5 Concept (Four O'clock SFH Sites)

Council did not have any substantial concerns with the two homesites (7,500 square feet of density each) but emphasized a desire for the applicant to work with the adjacent neighbors in the Four O'clock subdivision and retain site buffering and formalize trail access. Council also supported utilizing a private driveway for access to the two homesites. A master plan amendment is required to allow single-family homes in the Peak 8 Base Area of the Peak 7 and 8 Master Plan.

Parcel 6 Concept (Area Southwest of Timber Trail)

Council did not have any substantial concerns with the fourteen homesites with a minimum lot size of 0.6 acres (7,500 square feet of density each) but did emphasize a desire for the applicant to work with the adjacent neighbors in the Timber Trail subdivision and retain site buffering and formalize trail access. Council also supported utilizing a private driveway for access to more than four homesites. Council also supported providing Code relief to the developer to allow an excess of recommended slope and length guidelines for a dead-end roadway as long as the conditions were similar to the existing developed conditions for Timber Trail. A master plan amendment is required to allow single-family homes in the Peak 8 Base Area of the Peak 7 and 8 Master Plan. A master plan amendment is required to transfer density and allow single-family homes as an allowed use on Parcel 6.

Summary Table:

Staff has also included a summary table of outstanding questions for Council and anticipated requests for Code relief from the applicant. Staff will be happy to receive any additional feedback or answer any questions.

Summary of Considerations			
Parcel Name	Questions for Council	Requested Code Relief	Deal Points
Parcel 1 (North Gondola)	<ul style="list-style-type: none"> • None 	<ul style="list-style-type: none"> • Relief from the off-street parking standards. 	<ul style="list-style-type: none"> • Designated use shall remain as day-skier/visitor parking. • Parking counts will be based on historical parking counts of 610 spaces, not code compliant parking spaces. • Onsite drainage and detention improvements must be provided. • Waiver from interior landscaping and snow stacking is acceptable. • Perimeter landscaping shall be enhanced. • Lighting should be improved and meet dark sky requirements. • Requirement for parking lot attendants.
Parcel 2 (North Gold Rush)	<ul style="list-style-type: none"> • Determine the appropriate amount of workforce housing units. • Determine appropriate pedestrian crossing design. • Determine appropriate monthly rents and annual rent increases for workforce housing units. • Determine if a building height of up to 3-stories is acceptable before 	<ul style="list-style-type: none"> • Additional density for the purpose of building more workforce housing than required by Code. (Existing density must be utilized for all required employee mitigation.) • Possible relief from Policy 7/R for cutting into the hillside. 	<ul style="list-style-type: none"> • Provide roundabout and other pedestrian crossing improvements at French and Park Avenue intersection. • Provide a to-be-determined amount of workforce housing. • Provide relief from 7/R related to site disturbance and retaining walls for cutting into the hillside if tree buffer along Park Avenue is maintained.

	negative points are awarded.	<ul style="list-style-type: none"> • Allow building height of 3-stories. 	<ul style="list-style-type: none"> • Allow a reduction in required parking from 1.5 to 1.0 spaces per unit.
Parcel 3 (South Gold Rush)	<ul style="list-style-type: none"> • None 	<ul style="list-style-type: none"> • Allow revegetation of trees lost on Park Avenue due to roundabout and sidewalk construction. • Allow relief from the Engineering Standards related to driveways and circulation. 	<ul style="list-style-type: none"> • Allow relief from the Engineering Standards related to driveways and circulation. • Allow 0.1-acre permanent wetland impact, temporary encroachment into the 25-foot ESA setback for site grading and water quality swales, and the proposed 2:1 credit purchase from the Colorado Western Slope In-Lieu Fee Program's Blue-Eagle Service Area for the wetland mitigation prescribed in the draft Wetland Technical Report from Alpine Ecological Resources, LLC dated October 26, 2023 for the Gold Rush Lots redevelopment. • Allow 16 duplex units
Parcel 4 (East Peak 8 Hotel)	<ul style="list-style-type: none"> • None 	<ul style="list-style-type: none"> • A request for 220 SFEs of density to allocated to the site. • Waiver of on-site mitigation requirements of REMP and allowance to offset outdoor energy by installation of solar on other BGV buildings in Town, subscription to solar/wind gardens outside of the County, and if necessary, payment in lieu. • Request to modify Master Plan to eliminate language that requires buildings 	<ul style="list-style-type: none"> • Allocate 220 SFEs of density, including 13.75 commercial SFEs, and 7.2 SFEs support. 87.8 SFEs are currently within the Peak 8 Base Area. An additional 132.2 SFEs will need to be transferred to the site from the Gondola Lots Master Plan area. • Allow Master Plan to be modified to eliminate language that requires buildings to step down at the edge of the Peak 8 Base Area. Increased building setback requirements should be instituted as a trade-off for not requiring buildings to step down. • Allow up to 203 vehicles to be parked underground onsite, with 35 of those

		<p>to step down at the edge of the Peak 8 Base Area.</p>	<p>spaces to be used exclusively by Vail Resorts employees and 6 oversized spaces to be used exclusively by the BOEC.</p> <ul style="list-style-type: none"> • Underground garage square footage shall be exempted from Policy 3A: Density. • Provide a waiver of on-site mitigation requirements of REMP and allowance to offset outdoor energy by installation of solar on other BGV buildings in Town, subscription to solar/wind gardens outside of the County, and, if necessary, payment in lieu. • Provide a waiver for the second curb cut off of Ski Hill Road. • Eliminate access to site from Sawmill Run Road upon reception of a certificate of occupancy. • Retain the environmental improvement fund commitment from the previous Lionheart Development Agreement in the new Development Agreement and make the term of the agreement the life of the building. • Provide annual trip reports to the Town for the first 5 years after obtaining a certificate of occupancy.
Parcel 5	<ul style="list-style-type: none"> • None 	<ul style="list-style-type: none"> • Request for relief to exceed recommended slope for driveways. 	<ul style="list-style-type: none"> • Relief to exceed recommended slope for driveways if similar to developed conditions for

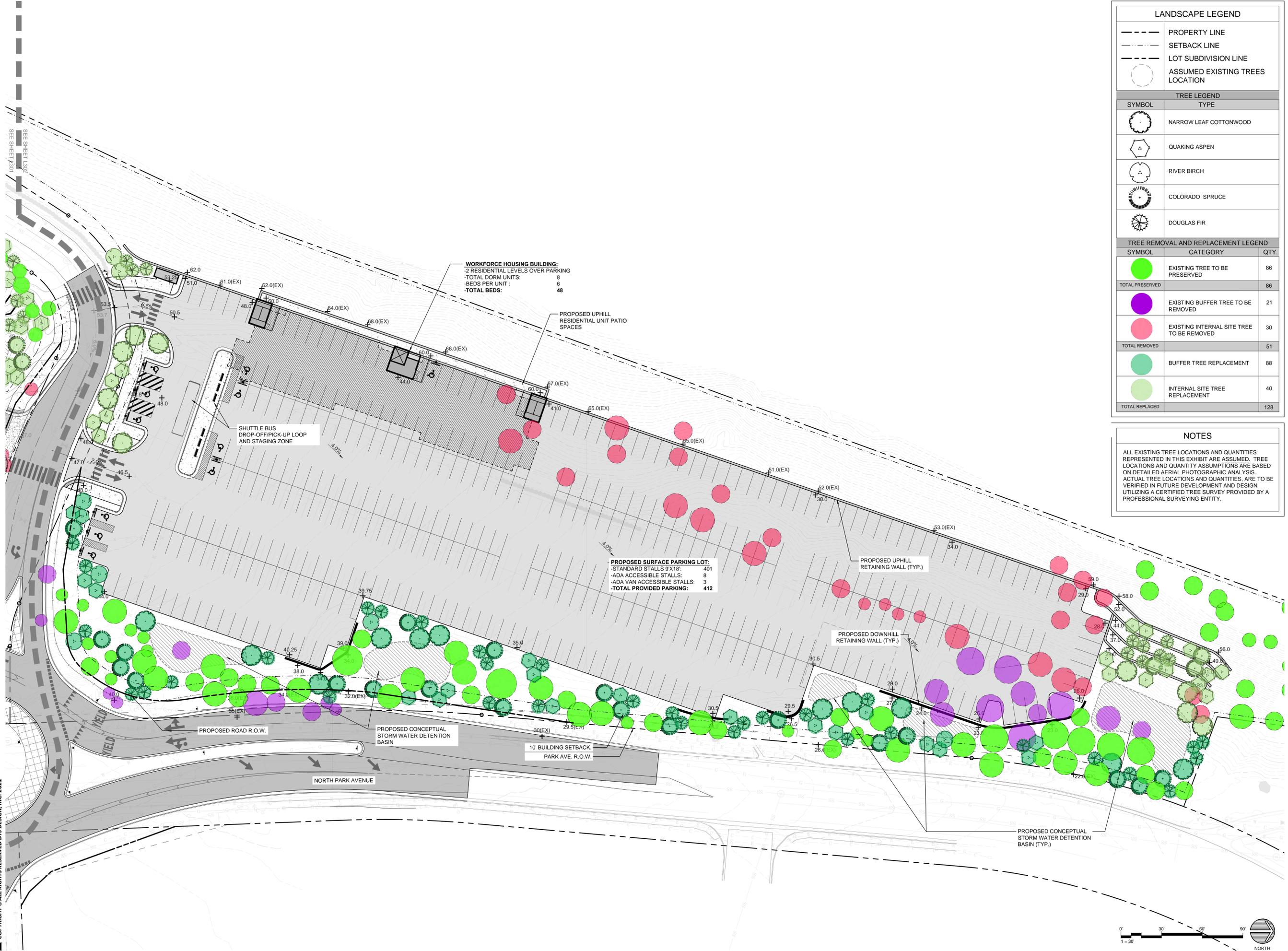
		<ul style="list-style-type: none"> Request for relief from the subdivision standards related to lot dimensions. 	<p>Timber Trail was found to be acceptable.</p> <ul style="list-style-type: none"> Relief from the subdivision standards related to lot dimensions.
Parcel 6	<ul style="list-style-type: none"> None 	<ul style="list-style-type: none"> Master plan amendment to add density for single-family homesites. Relief to exceed recommended slope and length for a dead-end roadway. Relief to exceed recommended slope for a driveway. May wish to proceed with development without having a Hydrology Analysis performed. 	<ul style="list-style-type: none"> Revised conceptual lot shape and dimensions were found to be acceptable. Master plan amendment is favored over an amendment to the LUGs to allow density transfer for creation of up to 14 new single-family lots with minimum lot size of 0.6 acres. Up to 14 Single-family lots of at least 0.6 acres in size. Home size limit of 7,500 sq. ft. Relief to exceed recommended slope and length for a dead-end roadway if similar to developed conditions for Timber Trail was found to be acceptable. Provide access to site by extending Timber Trail Drive through Tract A. Open space fee in-lieu dedication shall be based on an appraisal completed at the time of subdivision. Institute a PIF rate that is 1.25 times the listed in-Town rate for the properties within Parcels 5 and 6. Provide a hydraulic study prior to subdividing Parcel 5 or 6 into Single-family homesites.

			<ul style="list-style-type: none"> • PIF rate that is 1.25 times the listed in-Town rate for the properties within Parcels 5 and 6.
Parcel 7	<ul style="list-style-type: none"> • Determine the appropriate amount of workforce housing units and density. • Determine appropriate monthly rents and annual rent increases for workforce housing units. • Determine if a building height waiver of up to 3-stories is acceptable. 	<ul style="list-style-type: none"> • Additional density for the purpose of building more workforce housing than required by Code. (Existing density must be utilized for all required employee mitigation.) • 	
All Parcels	<ul style="list-style-type: none"> • We need to understand exact densities to assign to each parcel. • Is a \$500,000 contribution to Ski Hill Road and Park Avenue intersection improvements acceptable? 	<ul style="list-style-type: none"> • Request for extended vesting for the amended Peak 7 & 8 Master Plan and Gondola Lots Master Plan. 	<ul style="list-style-type: none"> • 8 years extended vesting for the amended Peak 7 & 8 Master Plan. • 5 years extended vesting for the amended Gondola Lots Master Plan.

LANDSCAPE LEGEND		
	PROPERTY LINE	
	SETBACK LINE	
	LOT SUBDIVISION LINE	
	ASSUMED EXISTING TREES LOCATION	
TREE LEGEND		
SYMBOL	TREE TYPE	
	NARROW LEAF COTTONWOOD	
	QUAKING ASPEN	
	RIVER BIRCH	
	COLORADO SPRUCE	
	DOUGLAS FIR	
TREE REMOVAL AND REPLACEMENT LEGEND		
SYMBOL	CATEGORY	QTY.
	EXISTING TREE TO BE PRESERVED	86
TOTAL PRESERVED		86
	EXISTING BUFFER TREE TO BE REMOVED	21
	EXISTING INTERNAL SITE TREE TO BE REMOVED	30
TOTAL REMOVED		51
	BUFFER TREE REPLACEMENT	88
	INTERNAL SITE TREE REPLACEMENT	40
TOTAL REPLACED		128

NOTES

ALL EXISTING TREE LOCATIONS AND QUANTITIES REPRESENTED IN THIS EXHIBIT ARE ASSUMED. TREE LOCATIONS AND QUANTITY ASSUMPTIONS ARE BASED ON DETAILED AERIAL PHOTOGRAPHIC ANALYSIS. ACTUAL TREE LOCATIONS AND QUANTITIES, ARE TO BE VERIFIED IN FUTURE DEVELOPMENT AND DESIGN UTILIZING A CERTIFIED TREE SURVEY PROVIDED BY A PROFESSIONAL SURVEYING ENTITY.



WORKFORCE HOUSING BUILDING:
-2 RESIDENTIAL LEVELS OVER PARKING
-TOTAL DORM UNITS: 8
-BEDS PER UNIT: 6
-TOTAL BEDS: 48

PROPOSED SURFACE PARKING LOT:
-STANDARD STALLS 9'X18": 401
-ADA ACCESSIBLE STALLS: 8
-ADA VAN ACCESSIBLE STALLS: 3
-TOTAL PROVIDED PARKING: 412

Drawing: IA\2019026\Breckenridge-Gondola Lot\Dev\05 CAD\Sheets\000\Exhibits-Coordination\04_GRS+GRN+NGL_PlantingPlan_Exhibits.dwg
 Last Saved: December 1, 2023 2:30:49 PM by Zoehart
 Last Plotted: 12/1/2023 2:31:06 PM
 COPYRIGHT © ALL RIGHTS RESERVED DTJ DESIGN, INC. 2022



NOT FOR CONSTRUCTION

DRAWN BY: DTJ
CHECKED BY: DTJ
PROJECT NO: 2019026.20
ISSUE DATE: 12/06/2023
REVISIONS:

SHEET TITLE:

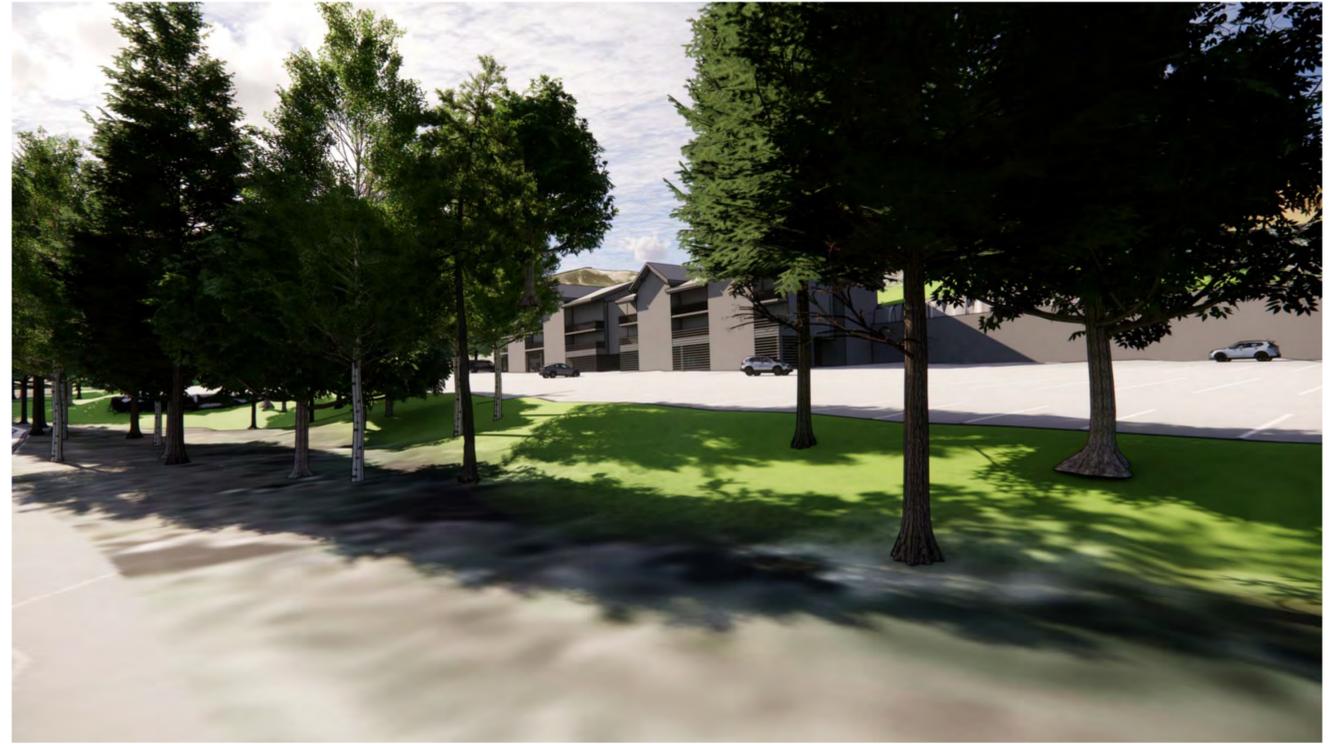
PERSPECTIVES

SHEET NUMBER:

A500



4
A500 **SOUTHEAST AERIAL**
SCALE: 12" = 1'-0"



3
A500 **NORTHEAST PERSPECTIVE**
SCALE: 12" = 1'-0"



2
A500 **EAST PERSPECTIVE**
SCALE: 12" = 1'-0"

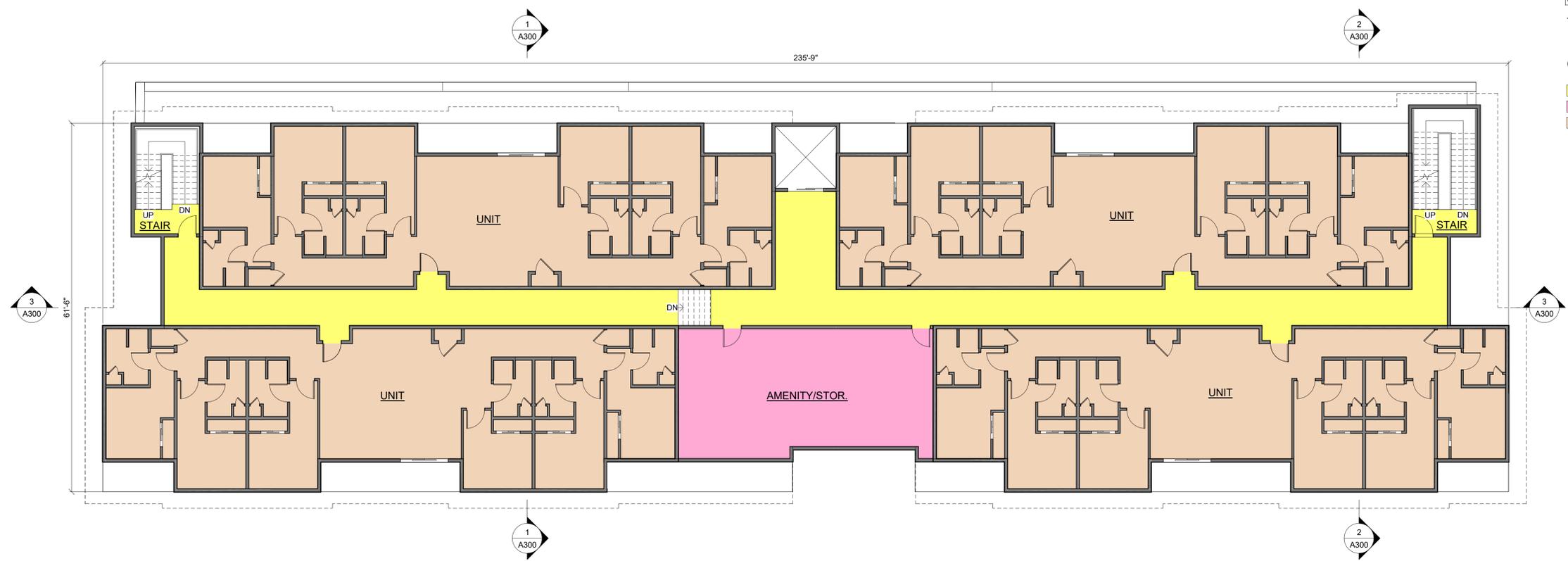


1
A500 **SOUTHEAST PERSPECTIVE**
SCALE: 12" = 1'-0"

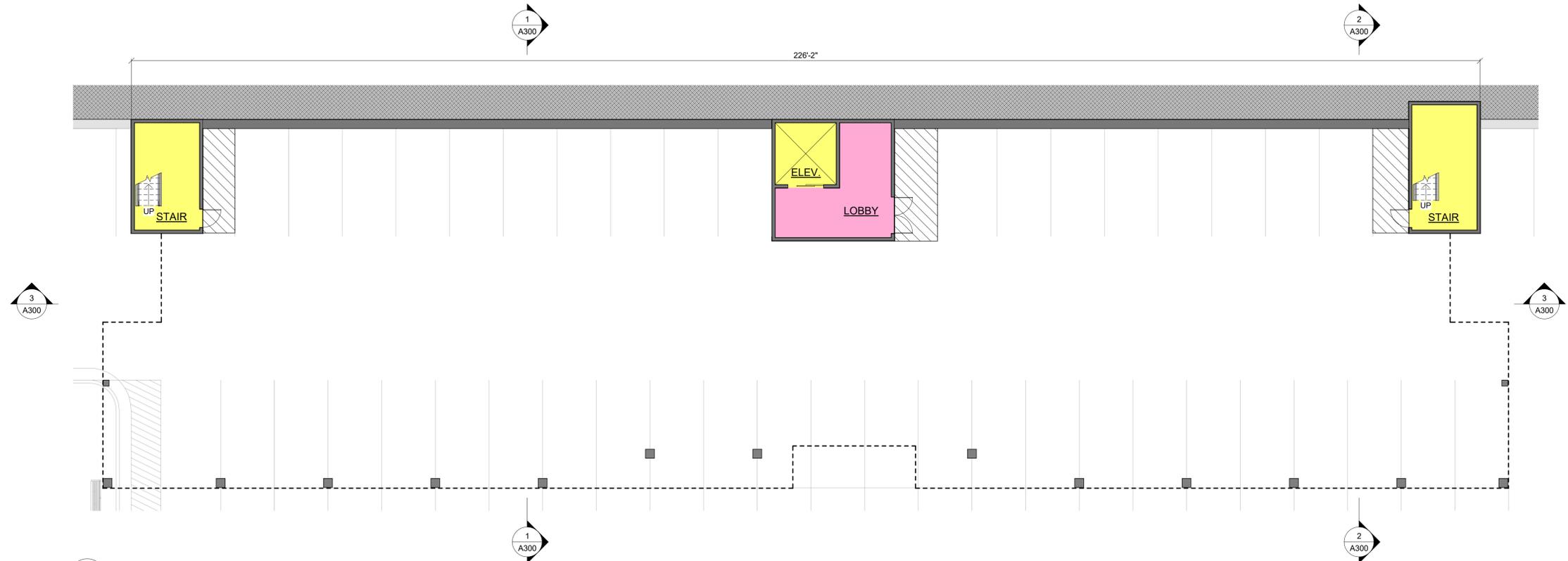
BUILDING AREAS	
Name	Area
CIRCULATION / RR, ETC.	
ELEV.	127 SF
HALLWAY	3734 SF
STAIR	666 SF
	4527 SF
COMMON / AMENITY	
AMENITY/STOR.	1841 SF
LOBBY	285 SF
	2126 SF
UNIT	
UNIT	18929 SF
	18929 SF
TOTAL SF:	25582 SF

COLOR KEY:

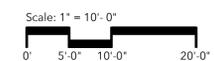
- CIRCULATION / RR, ETC.
- COMMON / AMENITY
- UNIT (8 TOTAL = 48 BEDS)



2 LEVELS 2 & 3
SCALE: 1" = 10'-0"



1 ENTRY LEVEL
SCALE: 1" = 10'-0"



GOLD RUSH LOTS - WORKFORCE HOUSING
355 N. PARK AVE. BRECKENRIDGE, CO
PRELIMINARY DEVELOPMENT PLAN SUBMISSION

NOT FOR CONSTRUCTION

DRAWN BY: DTJ
CHECKED BY: DTJ
PROJECT NO: 2019026.21
ISSUE DATE: 12/05/2023
REVISIONS:

SHEET TITLE:
FLOOR PLANS
SHEET NUMBER:

A100



Tunnel Option B

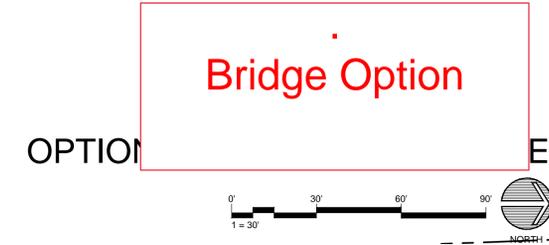
OPTIC

NOT FOR CONSTRUCTION

DRAWN BY:	ZE/TJ
CHECKED BY:	DTJ
PROJECT NO.:	2019026
ISSUE DATE:	11/09/2023
REVISIONS:	

SHEET TITLE:	PEDESTRIAN CROSSING OPTION 2
SHEET NUMBER:	2

Drawing: UA2019026_Breckenridge-Gondola Lot Dev05_CAD\X-Ref\08-Exhibits\X-HARDGRADE_SKIER TUNNEL STUDY 2.dwg
 Last Saved: November 13, 2023 3:55:29 PM by Zeanhart
 Last Plotted 11/13/2023 3:57:11 PM
 COPYRIGHT © ALL RIGHTS RESERVED DTJ DESIGN, INC. 2022

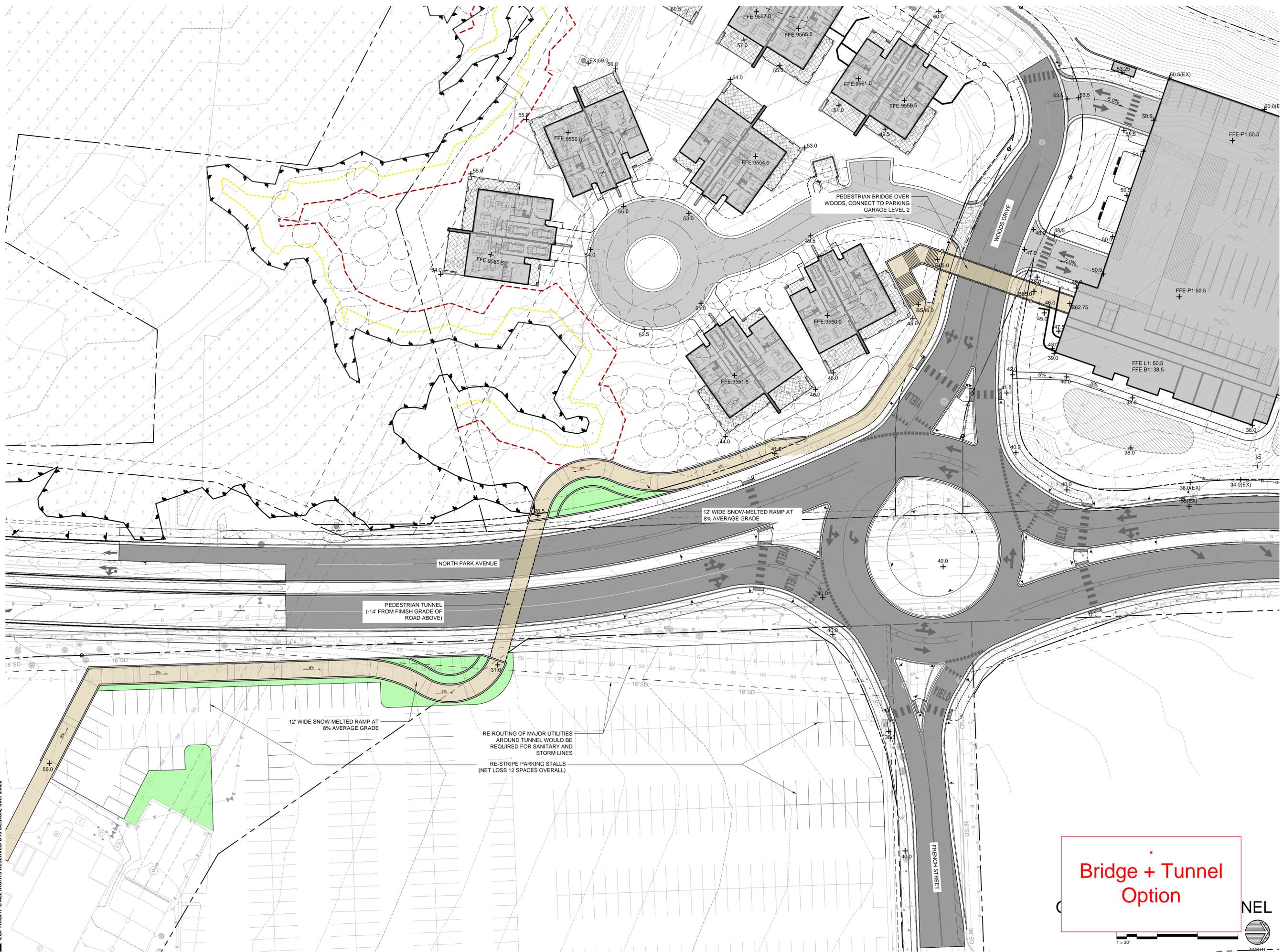


Drawing: IA\2019026_Breckenridge-Gondola Lot Dev\05 CAD\X-Ref\08-Exhibits\X-HARDGRADE_SKIER_TUNNEL_STUDY3.dwg
 Last Saved: October 19, 2023 2:55:48 PM by Zeehart
 Last Plotted: 10/20/2023 12:32:42 PM
 COPYRIGHT © ALL RIGHTS RESERVED DTJ DESIGN, INC. 2022

NOT FOR CONSTRUCTION

DRAWN BY: ZET/J
 CHECKED BY: DTJ
 PROJECT NO.: 2019026
 ISSUE DATE: 10/20/2023
 REVISIONS:

SHEET TITLE:
PEDESTRIAN CROSSING OPTION 3
 SHEET NUMBER:



**Bridge + Tunnel
Option**



Drawing: IA\2019026_Breckenridge-Gondola Lot Dev\05_CAD\X-Refs\08-Exhibits\X-HARDGRADE_SKIER_TUNNEL_STUDY_2.dwg
 Last Saved: October 18, 2023 11:42:23 PM by Zaanhan
 Last Plotted: 10/20/2023 11:57:27 AM
 COPYRIGHT © ALL RIGHTS RESERVED DTJ DESIGN, INC. 2022

NOT FOR CONSTRUCTION

DRAWN BY:	ZET/J
CHECKED BY:	DTJ
PROJECT NO.:	2019026
ISSUE DATE:	10/17/2023
REVISIONS:	
SHEET TITLE:	PEDESTRIAN CROSSING OPTION 2
SHEET NUMBER:	2

BGV WORKFORCE HOUSING

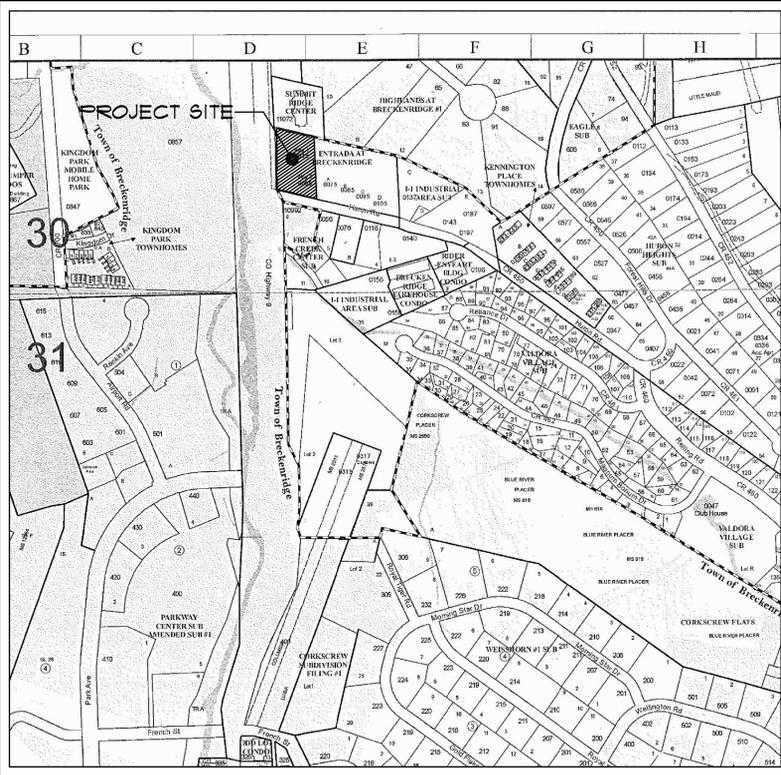


VIEW FROM HIGHWAY 9

GENERAL NOTES

- 1) COPYRIGHT: All plans, designs, and concepts shown in these drawings are the exclusive property of bhh Partners Planners/Architects, AIA/A/P/C, and shall not be used, disclosed, or reproduced for any purpose whatsoever without the Architect's written permission.
- 2) CODES: The project is governed by the International Building Code, 2018 Edition as adopted by Summit County. Code compliance is mandatory. The drawings and specifications shall not permit work that does not conform to these codes. The General Contractor and Subcontractors shall be responsible for satisfying all applicable codes and obtaining all permits and required approvals. Building areas are shown for code purposes only and shall be recalculated for any other purposes.
- 3) FIELD VERIFICATION: Verify all dimensions, conditions, and utility locations on the job site prior to beginning any work or ordering any materials. Notify Architect of any conflicts or discrepancies in the drawings immediately.
- 4) DIMENSIONS: Written dimensions always take precedence over scaled dimensions. DO NOT SCALE DRAWINGS. Verify all dimensions shown prior to beginning any work and notify Architect of any conflicts or discrepancies for interpretation or clarification. Plan dimensions are to the face of framing members, face of wood furring or face of concrete walls unless otherwise noted. Section or elevation dimensions are to top of concrete, top of plywood, or top of wall plates or beams unless otherwise noted.
- 5) DISCREPANCIES: The Owner has requested the Architect to provide limited architectural and engineering services. In the event additional details or guidance is needed by the Contractor for construction of any aspect of this project, he shall immediately notify the Architect. Failure to give timely notice shall relieve the Architect of responsibility. Do not proceed in areas of discrepancy until all such discrepancies have been fully resolved with written direction from the Architect.
- 6) DUTY OF COOPERATION: Release of these plans contemplates further cooperation among the Owner, his Contractor, and the Architect. Design and construction are complex. Although the Architect and his Consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect, and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences.
- 7) CHANGES TO THE WORK: Any items described herein that impact project budget or time shall be requested from the Contractor via a written change order request prior to such work. Performance of such work without approval by change order indicates General Contractor's acknowledgment of no increase in contract sum or time. Changes from the plans or specifications made without consent of the Architect are unauthorized and shall relieve the Architect of responsibility for any and all consequences resulting from such changes.
- 8) WORKMANSHIP: It is the intent and meaning of these drawings that the Contractor and each Subcontractor provide all labor, materials, transportation, supplies, equipment, etc., to obtain a complete job within the recognized standards of the industry.
- 9) SUBSTITUTIONS: Substitution of "equal" products will be acceptable with Architect's written approval. See specifications.
- 10) CONSTRUCTION SAFETY: These drawings do not include the necessary components for construction safety. The General Contractor shall provide for the safety, care of utilities and adjacent properties during construction, and shall comply with state and federal safety regulations.
- 11) EXCAVATION PROCEDURES: Upon completion of any excavation, the Owner shall retain a soils engineer to inspect the subsurface conditions in order to determine the adequacy of foundation design. See specifications. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.
- 12) FIELD CUTTING OF STRUCTURAL MEMBERS: The General Contractor and Subcontractors shall field coordinate and obtain approval from Engineer before any cutting, notching or drilling of any cast-in-place concrete, steel framing, or any other structural elements which may affect the structural integrity of the building. Refer to 2012 International Building Code, manufacturer's or supplier's instructions, and structural drawings for additional requirements.
- 13) EXTERIOR MATERIAL MOCK UP: The General Contractor shall provide a mock up of all exterior materials for review by the Owner, Architect and Interior Designer. This mock up shall be provided and signed off in writing prior to any exterior finish work. The sample shall include fascia, trim, window cladding, and all other exterior finishes including 3'x3' sample sample of exterior stone work. This shall be retained on site until the final punch list is complete.
- 14) WEATHER CONDITIONS: The Owner has been advised that due to harsh winter conditions, roof and deck surfaces must be maintained reasonably free of ice and snow to ensure minimal problems with these surfaces. All roofing, roofing membranes, and waterproofing shall be approved in writing by product manufacturer (WR Grace for bitumens, etc.) prior to proceeding with any work. Failure to provide these written approvals removes all responsibility for the work from the Architect.
- 15) BUILDING AREA: Building areas are shown for code purposes only and shall be recalculated for any other use.
- 16) PROJECT STAKING: The general contractor shall verify all existing grades and stakes all building corners and driveway location for Owner/Architect approval prior to beginning any site clearing.
- 17) SITE DISTURBANCE: It is the responsibility of the contractor to protect the existing trees to remain and adjacent properties from damage during construction. Provide protective fencing throughout construction.
- 18) PROJECT GRADES: The general contractor shall check and verify all grades including paved area slopes prior to pouring any foundations. Survey work should be verified in detail. See numbers 5 and 6.

VICINITY MAP



LEGAL DESCRIPTION

TRACT A1
ENTRADA AT BRECKENRIDGE, SUMMIT COUNTY, COLORADO
11030 HIGHWAY 9
SUMMIT COUNTY, COLORADO

AREA CALCULATIONS

LOWER	FINISHED	UNFINISHED	TOTAL
LOWER	9,525 SF.	2,288 SF.	11,813 SF.
MAIN	11,811 SF.	00 SF.	11,811 SF.
UPPER	11,331 SF.	00 SF.	11,331 SF.
TOTAL	32,739 SF.	2,288 SF.	35,027 SF.

NOTE: SQUARE FOOTAGES ARE CALCULATED FOR CODE PURPOSES ONLY AND SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES.

NOTE: INTERIOR STAIRS AT UPPER LEVEL ARE NOT COUNTED AS SQUARE FOOTAGE.

RESIDENTIAL UNIT BREAKDOWN
60 UNITS AT 420 SF. EACH = 25,200 SF
06 UNITS AT 480 SF. EACH = 2,880 SF

USGS DATUMS

LEVEL 121'-0" = 9,502.5' USGS
LEVEL 110'-6" = 9,492' USGS
LEVEL 100'-0" = 9,481.5' USGS

SPRINKLER

PROVIDE AUTOMATIC FIRE SPRINKLER SYSTEM PER NFPA 13R CODE REQUIREMENTS. SEE SPECIFICATIONS

SHEET INDEX

- T-11 TITLE SHEET & NOTES
- SP-11 PROPOSED SITE PLAN
- SP-12 PROPOSED LANDSCAPE PLAN
- SP-13 PROPOSED PARKING & SNOW STACK PLAN
- ORIGINAL TOPOGRAPHIC SURVEY
- A-11 LOWER LEVEL PLAN
- A-12 MAIN LEVEL PLAN
- A-13 UPPER LEVEL PLAN
- A-14 ROOF PLAN
- A-15 UNIT TYPE PLANS
- A-21 BUILDING ELEVATIONS
- A-22 BUILDING ELEVATIONS

CODE CONSULTANT:	SURVEYOR:	M/E/P ENGINEER:	STR'L ENGINEER:	CIVIL ENGINEER:	PLANNER:	CONTRACTOR:	ARCHITECT:	OWNER:
Shum Coda Associates Steve Thomas 5716 Stoneridge Mall Rd #50 Pleasanton, CA 94588 925.402.8364 steve.thomas@shumcoda.com	Range West Engineers & Surveyors - Jessica Koetteritz 101 W. Main St. Ft. Collins, CO 80424 970.468.6281 jessica@rangewestinc.com	TBD	TBD	TETRA TECH KYLE CROSS 130 9K1 HILL ROAD / P.O. BOX 1659 BRECKENRIDGE, CO. 80424 970.423.3406 kyle.cross@tetratech.com	Christie Leidal FO Box 4678 Breckenridge, CO 80424 970.389.1086 christie@thehusleidal.com	Breckenridge Grand Vacations Graham Frank 100 S. Main St. Breckenridge, CO 80424 970.453.6680 gfrank@breckenridgegrandvacations.com	bhh Partners, Planners and Architects Mike Dudick P. O. BOX 931 Breckenridge, CO 80424 970.453.6680 mhogan@bhhpartners.com	Breckenridge Grand Vacations Mike Dudick 100 S. Main St. Breckenridge, CO 80424 970.453.6680 md@breckenridgegrandvacations.com

PRELIMINARY
NOT FOR
CONSTRUCTION

JOB NO: 18834.4
ISSUED FOR: DATE:
06.28.22

©2022 THIS DRAWING IS COPYRIGHTED
AND SHALL NOT BE REPRODUCED WITH-
OUT ARCHITECT'S WRITTEN PERMISSION

DRAWN BY:
CHECKED BY:

bhh Partners
 P.O. BOX 931 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6680
BGV WORKFORCE HOUSING
 11030 HIGHWAY 9, TRACT 2A, BGV WORKFORCE HOUSING AT BRECKENRIDGE SUMMIT COUNTY, COLORADO

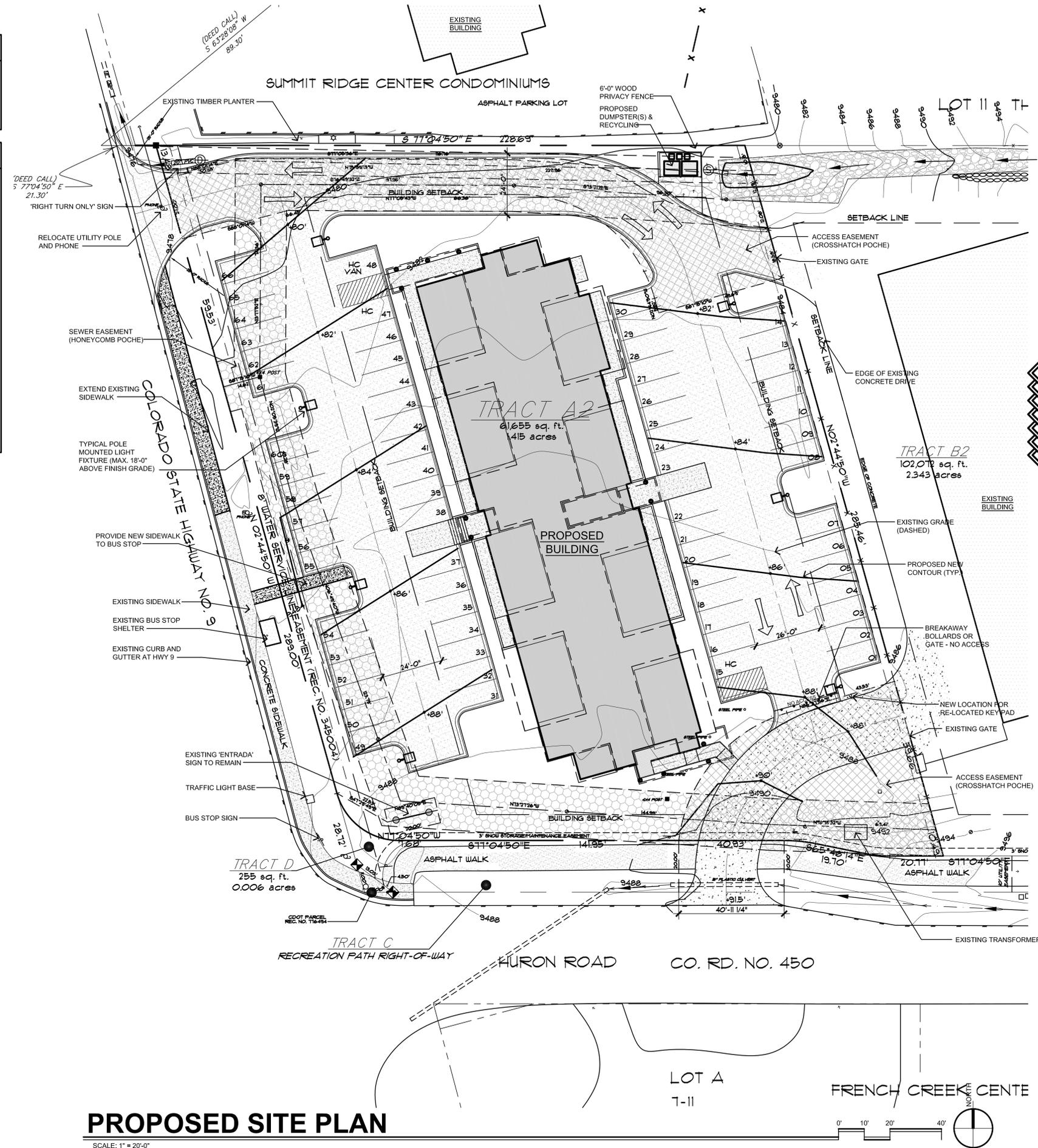
SHEET NUMBER:

T-1.1

TITLE SHEET,
GENERAL NOTES,
AND INFORMATION

CONTOUR LEGEND	
EXISTING MINOR	DRAINAGE ARROW
EXISTING MAJOR	SPOT GRADE AT DOT .XXX'
PROPOSED	

- SITE NOTES**
- ELECTRIC, CABLE T.V. AND TELEPHONE UNDERGROUND IN COMMON TRENCH
 - VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND.
 - TOPOGRAPHIC INFORMATION OBTAINED FROM RANGE WEST ENGINEERS & SURVEYORS, JOB # 21728
 - PROVIDE POSITIVE DRAINAGE AT BUILDING PERIMETER (SLOPE AWAY FROM BUILDING AT 1:12 MIN.)
 - REFER TO FOUNDATION PLAN FOR FOUNDATION DRAIN LOCATION AND SLOPE. DRAINS TO BE SLOPED TO DAYLIGHT TO NATURAL TRENCH
 - PROTECT ALL REMAINING TREES WITH SNOW FENCE OR OTHER APPROVED BARRIER DURING CONSTRUCTION
 - PROVIDE 6" DIA. STONE RIP RAP OVER WEED BARRIER FABRIC AT EAVES AND VALLEY DRIP LOCATIONS
 - STAKE BUILDING LOCATION FOR OWNER AND ARCHITECT PRIOR TO ANY WORK
 - GENERAL CONTRACTOR TO REVIEW & COMPLY WITH ALL TOWN OF BRECKENRIDGE CONDITIONS. COPIES OF CONDITIONS ARE AVAILABLE FROM ARCHITECT
 - SEE CIVIL ENGINEERING PLANS FOR GRADING, DRAINAGE AND UTILITY INFORMATION.



PRELIMINARY NOT FOR CONSTRUCTION

JOB NO:	18834.4
ISSUED FOR:	DATE:
REVISIONS:	06.28.22

©2022 THIS DRAWING IS COPYRIGHTED AND SHALL NOT BE REPRODUCED WITHOUT ARCHITECT'S WRITTEN PERMISSION
 DRAWN BY: M.HOGAN
 CHECKED BY: M.HOGAN

bhh Partners
 P.O. BOX 931 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880

BGV WORKFORCE HOUSING
 11030 HIGHWAY 9, TRACT 2A, BGV WORKFORCE HOUSING AT BRECKENRIDGE SUMMIT COUNTY, COLORADO

SHEET NUMBER:
SP 1.1
 PROPOSED SITE PLAN

PROPOSED SITE PLAN

SCALE: 1" = 20'-0"

PRELIMINARY NOT FOR CONSTRUCTION

JOB NO: 18834.4
ISSUED FOR: DATE:
REVISIONS: 06.28.22

©2022 THIS DRAWING IS COPYRIGHTED AND SHALL NOT BE REPRODUCED WITHOUT ARCHITECT'S WRITTEN PERMISSION
DRAWN BY: M.HOGAN
CHECKED BY:

bhh Partners
P.O. BOX 931 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6860
BGV WORKFORCE HOUSING
11030 HIGHWAY 9, TRACT 2A, BGV WORKFORCE HOUSING AT BRECKENRIDGE SUMMIT COUNTY, COLORADO

SHEET NUMBER:
SP 1.2
PROPOSED LANDSCAPE PLAN

KEY	COMMON	BOTANICAL	NO.	SIZE	NOTES
EXISTING TREES					
⊙	EXISTING	VARIES-	--	SEE SITE PLAN	
EXISTING TREES TO BE REMOVED					
⊙	VARIES-	VARIES-	--	SEE SITE PLAN	
PROPOSED TREES/SHRUBS TO BE ADDED					
⊙	COLORADO SPRUCE	PICEA PUNGENS OR PICEA ENGELMANNI	12	(6) 8' TALL	
⊙	ASPEN	POPULUS TREMULOIDES	50	2.0' MIN. CAL 50% MULTI-STEM	
⊙	POTENTILLA	POTENTILLA FRUTICOSA	22	5 GAL.	NEEDS SUN (36" TALL, 4'-0" WIDE)
⊙	BUFFALO JUNIPER	JUNIPERUS SABINA	0	5 GAL.	NEEDS SUN (12" TALL, 8'-0" WIDE)
⊙	SILVER BUFFALO BERRY	SHEPHERDIA ARGENTEA	0	5 GAL.	GROWS TO 6-10' TALL
⊙	PEKING COTONEASTER	COTONEASTER LUCIDUS OR APICALTUS	22	5 GAL.	GROWS TO 6-10' TALL
⊙	ALPINE CURRANT	RIBES ALPINUM	22	5 GAL.	GROWS TO 3-6' TALL
⊙	NATIVE GROUND COVER AND PERENNIALS	PROVIDE SUBMITTAL	6	1 FLAT	PROVIDE TO ALL DISTURBED AREAS

REVEGETATION NOTES

REVEGETATE ALL DISTURBED AREAS ON THE SITE WITH:

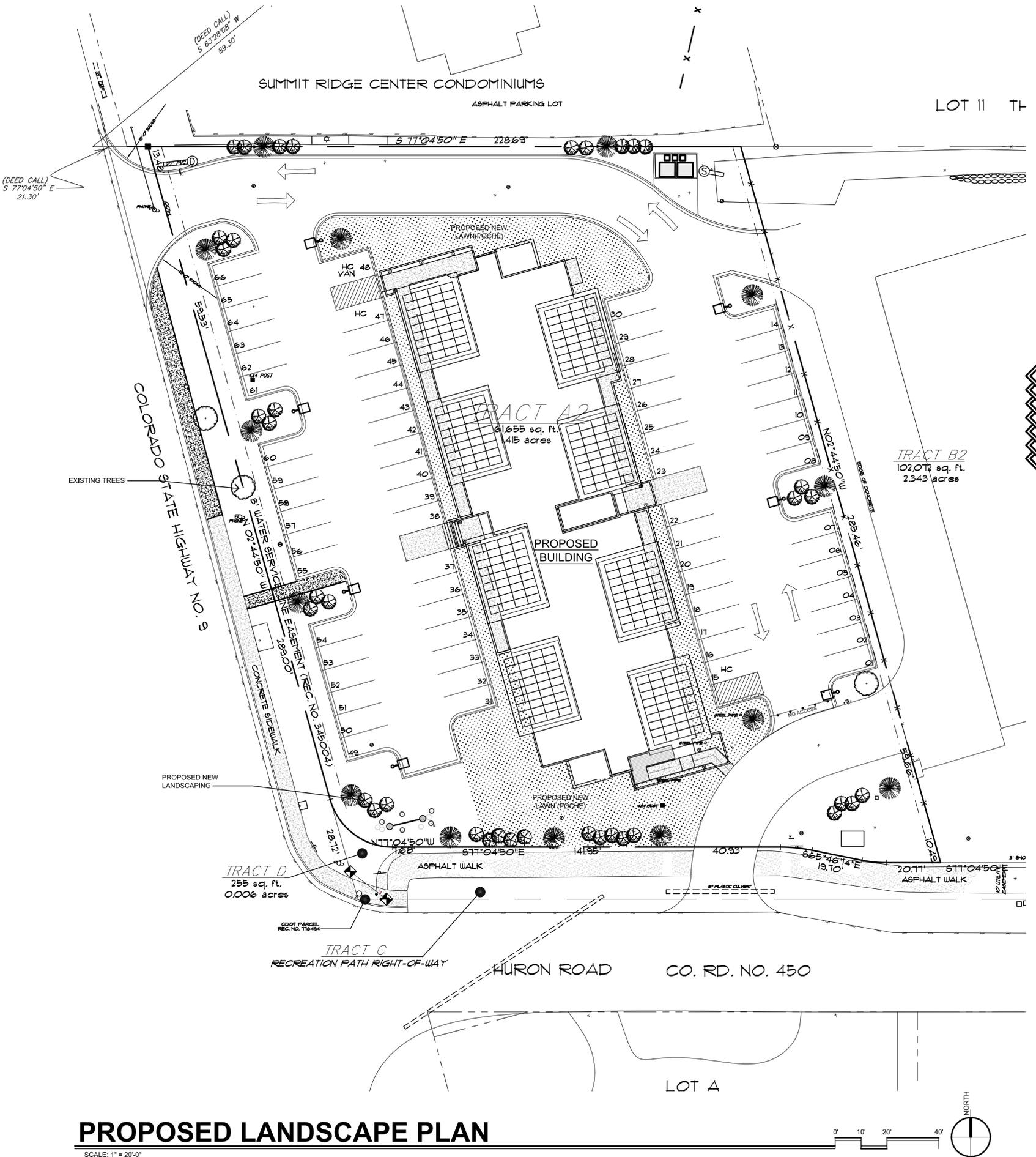
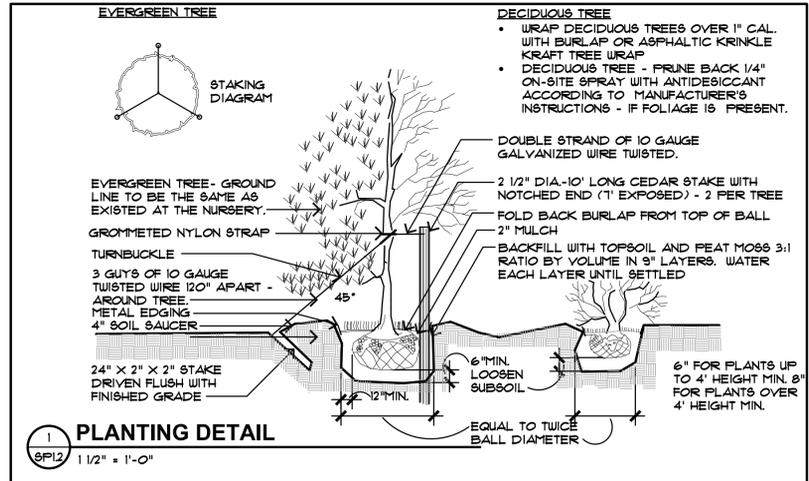
SHORT DRY GRASS MIX @2 LBS/1000 SF:
 HARD FESCUE 30%
 CREEPING RED FESCUE 30%
 SHEEP FESCUE 25%
 CANADA BLUEGRASS 10%
 CANBY BLUEGRASS 5%

SLOPES OVER 3:1 SHALL BE HAY TACKIFIED OR NETTED.

MOUNTAIN MAGIC WILDFLOWER MIX @1 LB/10,000 SF:
 BABY'S BREATH BLANKETFLOWER
 CALIFORNIA POPPY SHIRLEY POPPY
 BLUE FLAX LUPINE MIX
 WALLFLOWER MAIDEN PINKS
 PENSTEMON, ROCKY MOUNTAIN WILD THYME

ROCKY MOUNTAIN BLUE COLUMBINE MIX @1LB/25,000 SF OR WESTERN NATIVE WILDFLOWER MIX @ 1LB/6000 SF:
 MOUNTAIN LUPINE CONEFLOWER, WESTERN PENSTEMON, SMALL FLOWERED COLUMBINE, COLORADO SULFUR FLOWER PENSTEMON, ROCKY MOUNTAIN GERANIUM, RICHARDSON NODDING GROUNDSEL PENSTEMON, WASATCH ASTER, ENGLEMANNS WESTERN LARKSPUR PENSTEMON, RYDBERGS ORANGE MOUNTAIN DAISY AMERICAN VETCH GAILLARDIA/BLANKETFLOWER GIANT LOUSEWORT

- LANDSCAPE NOTES**
- PROVIDE 3" (MIN.) CLAYFREE TOPSOIL AND SEED ALL DISTURBED AREAS WITH SHORT SEED MIX (AS APPROVED BY TOWN OF BRECKENRIDGE) STOCKPILE EXISTING TOPSOIL IN CONSTRUCTION AREA. SCREEN TOPSOIL PRIOR TO INSTALLATION.)
 - KEEP EXISTING TREES WHERE POSSIBLE, TAKING INTO CONSIDERATION DRIP LINES AND ROOT STRUCTURE. PROTECT EXISTING TREES WITH FENCING LOCATED AT OR OUTSIDE DRIP LINE OF TREE. STOCKPILE AND REUSE EXISTING TREES WHERE POSSIBLE.
 - GENERAL CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS PER SPECIFICATIONS AND CODE REQUIREMENTS.
 - PRIOR TO ANY LANDSCAPE WORK, REMOVE ALL DEBRIS, PAINT, CONCRETE, STUMPS, SLASH, ETC. FROM LANDSCAPE AREA.
 - LOCATE ALL PLANTINGS TO AVOID SNOW STACKING & SNOW SLIDE AREAS FROM ABOVE.
 - SHRUBS ARE TO BE FIELD LOCATED AS APPROVED BY OWNER AND ARCHITECT.
 - ALL NEW LANDSCAPING TO BE IRRIGATED WITH DRIP IRRIGATION SYSTEM.
 - ALL NEW PLANTINGS SHOULD BE HIGH ALTITUDE GROWN AND OR COLLECTED TO ENSURE BETTER SURVIVAL.
 - NATURALIZE GROUPING OF TREES BY VARYING HEIGHT & LOCATION WHEREVER POSSIBLE.
 - SCREEN ALL UTILITY PEDESTALS WITH LANDSCAPE MATERIAL.
 - PROVIDE 3" TO 4" DIAMETER STONE RIPRAP OVER WEED BARRIER FABRIC AT BUILDING DRIP LINES. UNDULATE EDGES AND PROVIDE LANDSCAPE EDGING AT RIPRAP TO TOPSOIL JUNCTURE.
 - INSTALL & BACKFILL ALL PLANTINGS WITH SOIL MIX INCLUDING ORGANIC SOIL AMENDMENTS PER SPECIES REQUIREMENTS AND LANDSCAPE DETAILS.
 - ROOT FEED ALL NEWLY PLANTED TREES DURING INSTALLATION. PROVIDE LIQUID GROWTH TREE STIMULATOR AND SOLUBLE FERTILIZER AT RECOMMENDED RATE FOR EACH TREE SPECIES.
 - PROVIDE 3" OF SHREDDED BARK MULCH AT ALL SHRUB AND TREE WELLS.
 - LANDSCAPE BOLDERS OF 2' OR LARGER SHALL BE RETAINED ON SITE FOR USE IN LANDSCAPE WORK. BURY DECORATIVE BOLDERS ONE-HALF OF DIAMETER AS APPROVED BY TOWN OF BRECKENRIDGE PRIOR TO INSTALLATION.
 - ADDITIONAL CONSULTATION WITH A QUALIFIED LANDSCAPE PROFESSIONAL AT OWNER OPTION IS RECOMMENDED.
- NOTE: ALL LANDSCAPING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH TOWN OF BRECKENRIDGE DEVELOPMENT CODE.



PROPOSED LANDSCAPE PLAN

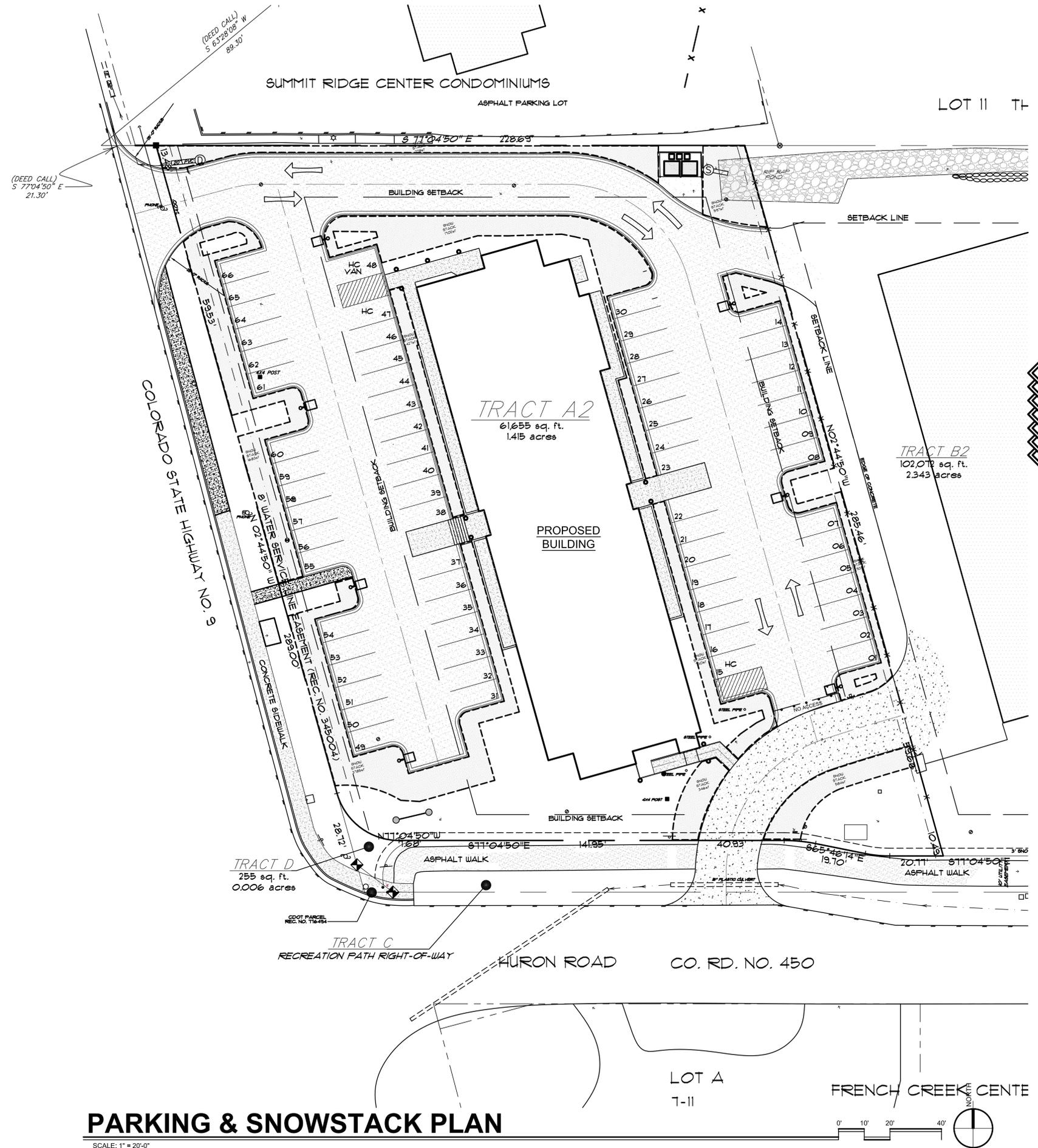
SCALE: 1" = 20'-0"

PARKING		
66 PARKING SPACES HAVE BEEN PROVIDED. 3 OF THOSE 66 SPACES ARE HANDICAP SPECIFIED. ALL PARKING SPACES ARE: 9'-0" WIDE X 18'-0" LONG PER TOWN CODE.		

REQUIRED SNOWSTACK		
	SQ. FT.	PERCENTAGE
HARDSCAPE (INCLUDES PATIOS, WALKS & DRIVEWAY)	28,453 S.F.	100%
REQ'D SNOW STACK (25% OF HARDSCAPE)	7,113 S.F.	25%
TOTAL SNOW STACK PROVIDED	9,760 S.F.	34%

LOT COVERAGE		
	SQ. FT.	PERCENTAGE
BUILDING FOOTPRINT	11,961 S.F.	19.4%
BUILDING OVERHANGS and DECKS (MINUS HARDSCAPE BELOW AND FOOTPRINT)	3,003 S.F.	4.8%
HARDSCAPE DRIVEWAY (asphalt)	27,667 S.F.	44.8%
HARDSCAPE AT DUMPSTER (concrete)	315 S.F.	0.5%
HARDSCAPE SIDEWALKS and PATIOS (AREAS NOT COVERED BY ROOF ABOVE, concrete)	611 S.F.	0.9%
HARDSCAPE DRIVEWAY AT S. ACCESS ESMT	2,133 S.F.	3.4%
OPEN SPACE	15,965 S.F.	26.2%
TOTAL LOT SIZE	61,655 S.F.	100%

NOTES:
1) OPEN SPACE AND DRIVE AT SOUTH ACCESS EASEMENT IS 18,238 SQ. FT. OR 29.6%, IF THIS IS NOT IN THE CALCULATIONS.



PRELIMINARY NOT FOR CONSTRUCTION

JOB NO: 18834.4
ISSUED FOR: DATE:
REVISIONS: 06.28.22

©2022 THIS DRAWING IS COPYRIGHTED AND SHALL NOT BE REPRODUCED WITHOUT ARCHITECT'S WRITTEN PERMISSION
DRAWN BY:
CHECKED BY: M.HOGAN

bhh Partners
P.O. BOX 931 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880

BGV WORKFORCE HOUSING
11030 HIGHWAY 9, TRACT 2A, BGV WORKFORCE HOUSING AT BRECKENRIDGE SUMMIT COUNTY, COLORADO

SHEET NUMBER:
SP 1.3
PROPOSED PARKING & SNOWSTACK PLAN

PARKING & SNOWSTACK PLAN
SCALE: 1" = 20'-0"

A TOPOGRAPHIC MAP OF
TRACT A2, ENTRADA AT BRECKENRIDGE
SUMMIT COUNTY, COLORADO

SUMMIT RIDGE CENTER CONDOMINIUMS

LOT 11

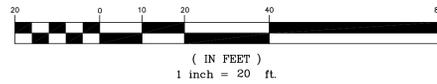
THE HIGHLANDS SUBDIVISION AT BRECKENRIDGE

COLORADO STATE HIGHWAY NO. 9

SUMMIT COUNTY, COLORADO



GRAPHIC SCALE



DATE OF FIELD SURVEY: JUNE, 2022
CONTOUR INTERVAL=1 FOOT

LEGEND (MONUMENTS FOUND 2017)

- ◆ FOUND REBAR & PLASTIC CAP (PLS 26292)
- FOUND REBAR & STEEL CAP (ILLEGIBLE)
- ⊙ FOUND REBAR & PLASTIC CAP (PLS 9939)
- ⊙ FOUND REBAR & PLASTIC CAP (PLS 27924)
- ⊙ FOUND REBAR & PLASTIC CAP (ILLEGIBLE)
- FOUND #4 REBAR
- ☆ LIGHT POLE
- 🌲 PINE TREE WITH TRUNK DIAMETER
- 🌲 ASPEN TREE WITH TRUNK DIAMETER
- 🌲 SPRUCE TREE WITH TRUNK DIAMETER
- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ SEWER SERVICE STUB
- UTILITY PEDESTAL
- ⊙ UTILITY POLE

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C1	25.30'	14.00'	103°32'57"	N51°08'42"E	22.00'
C2	12.24'	62.00'	11°18'36"	S71°25'32"E	12.22'
C3	9.61'	48.00'	11°28'05"	S71°30'16"E	9.59'
C4	32.43'	25.00'	74°20'00"	S39°54'50"E	30.21'
C5	68.58'	59.01'	66°35'30"	S53°19'59"W	64.79'
C6	41.14'	70.00'	33°40'24"	N60°14'38"W	40.55'
C7	51.14'	114.03'	25°41'38"	S59°53'02"E	50.71'
C8	71.37'	55.00'	74°20'53"	N39°55'17"W	66.47'

FRENCH CREEK CENTER

LOT 5



Drawn RRR/LJK	Dwg 17324_A2TP	Project 17324
Checked RRR	Date 06/22/2022	Sheet 1 of 1

R-A-N-G-E-W-E-S-T
ENGINEERS & SURVEYORS INC.

P.O. Box 589
Silverthorne, CO 80498 970-468-6281

NOTE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT, IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

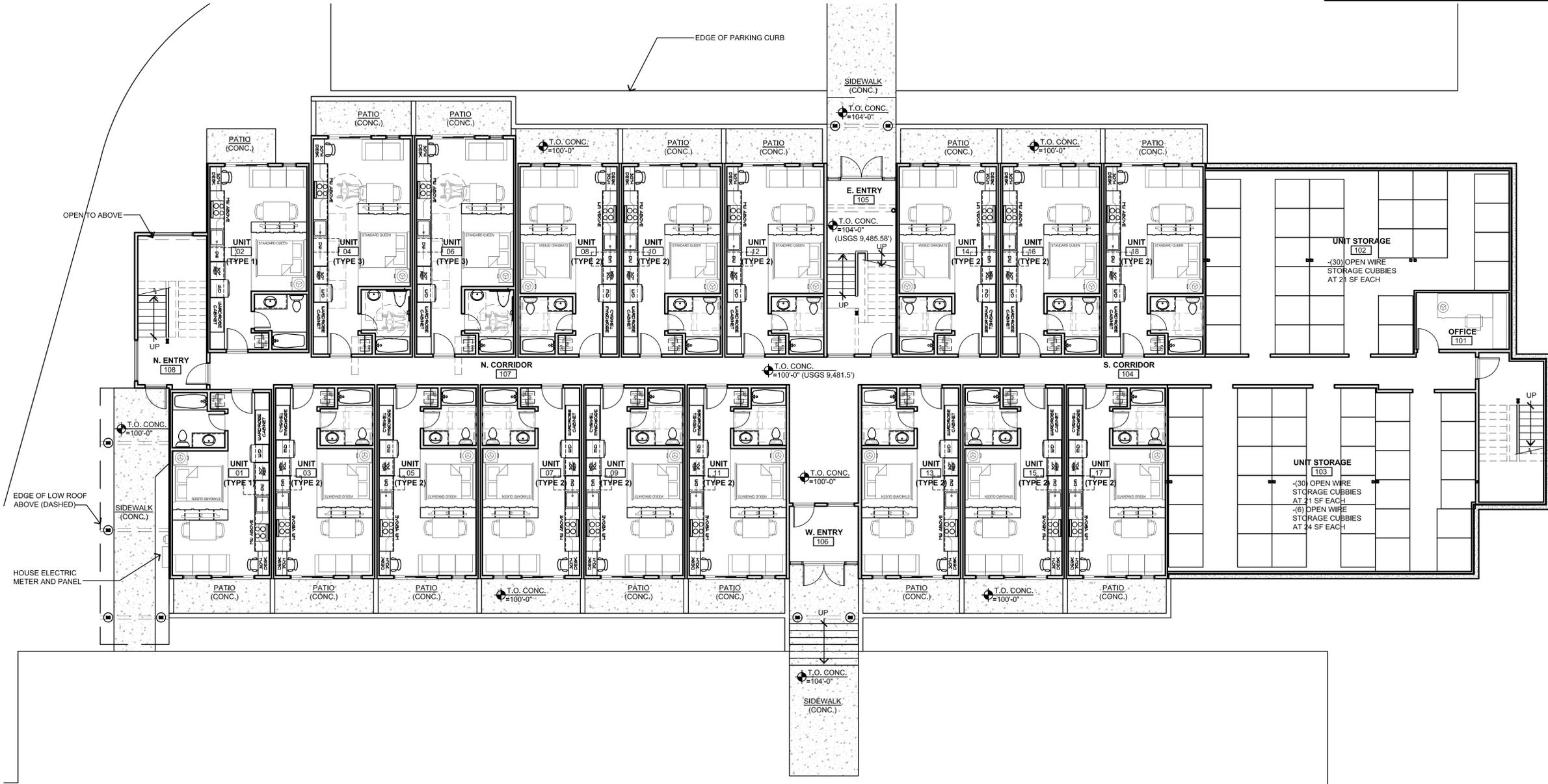
AREA CALCULATIONS LOWER			
UNIT	AMOUNT	SF. EA. UNIT	TOTAL SQ. FT.
TYPE 1	2	X 410 SF.	820 SF.
TYPE 2	14	X 420 SF.	5,880 SF.
TYPE 3	2	X 480 SF.	960 SF.
TYPE 4A	0	X 524 SF.	00 SF.
TYPE 4B	0	X 524 SF.	00 SF.
TOTAL UNITS	18	--	7,660 SF.
CORRIDOR, STAIRS AND OFFICE	--	--	1,865 SF.
STORAGE	--	--	2,288 SF.
TOTAL	--	--	11,813 SF.

PRELIMINARY NOT FOR CONSTRUCTION

JOB NO: 18834.4
 ISSUED FOR: DATE: 06.28.22

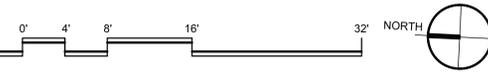
©2022 THIS DRAWING IS COPYRIGHTED AND SHALL NOT BE REPRODUCED WITHOUT ARCHITECT'S WRITTEN PERMISSION

DRAWN BY: M.HOGAN
 CHECKED BY:



LOWER LEVEL PLAN

SCALE: 1/8" = 1'-0"



bhh Partners
 P.O. BOX 931 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880

BGV WORKFORCE HOUSING
 11030 HIGHWAY 9, TRACT 2A, BGV WORKFORCE HOUSING AT BRECKENRIDGE SUMMIT COUNTY, COLORADO

SHEET NUMBER:

A1.1
 UNIT PLANS and LOWER LEVEL PLAN

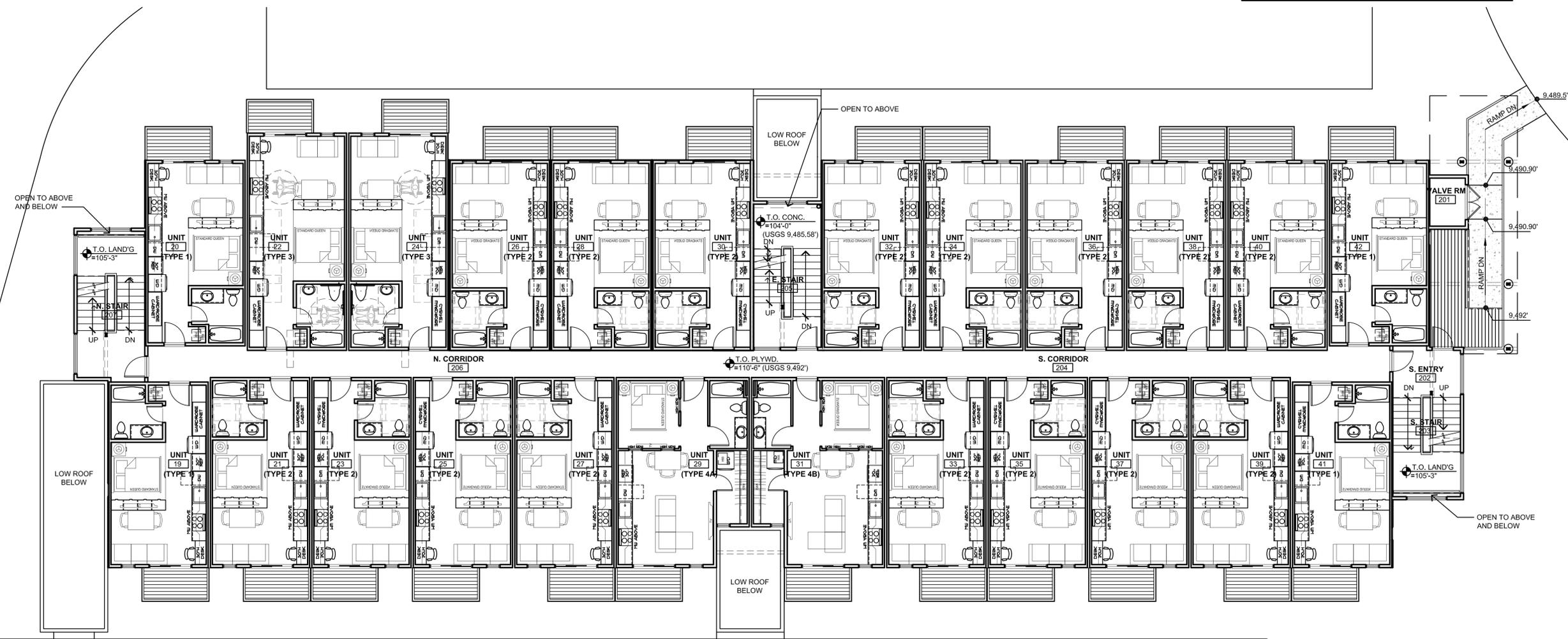
AREA CALCULATIONS MAIN			
UNIT	AMOUNT	SF. EA. UNIT	TOTAL SQ. FT.
TYPE 1	4	X 410 SF.	1,640 SF.
TYPE 2	16	X 420 SF.	6,720 SF.
TYPE 3	2	X 480 SF.	960 SF.
TYPE 4A	1	X 524 SF.	524 SF.
TYPE 4B	1	X 524 SF.	524 SF.
TOTAL UNITS	24	--	10,368 SF.
CORRIDOR AND STAIRS	--	--	1,463 SF.
VALVE RM	--	--	46 SF.
TOTAL	--	--	11,877 SF.

PRELIMINARY NOT FOR CONSTRUCTION

JOB NO: 18834.4
 ISSUED FOR: DATE: 06.28.22

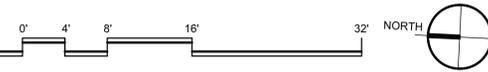
©2022 THIS DRAWING IS COPYRIGHTED AND SHALL NOT BE REPRODUCED WITHOUT ARCHITECT'S WRITTEN PERMISSION

DRAWN BY: M.HOGAN
 CHECKED BY:



MAIN LEVEL PLAN

SCALE: 1/8" = 1'-0"



bhh Partners
 P.O. BOX 931 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880

BGV WORKFORCE HOUSING
 11030 HIGHWAY 9, TRACT 2A, BGV WORKFORCE HOUSING AT BRECKENRIDGE SUMMIT COUNTY, COLORADO

SHEET NUMBER:
A1.2
 MAIN LEVEL PLAN

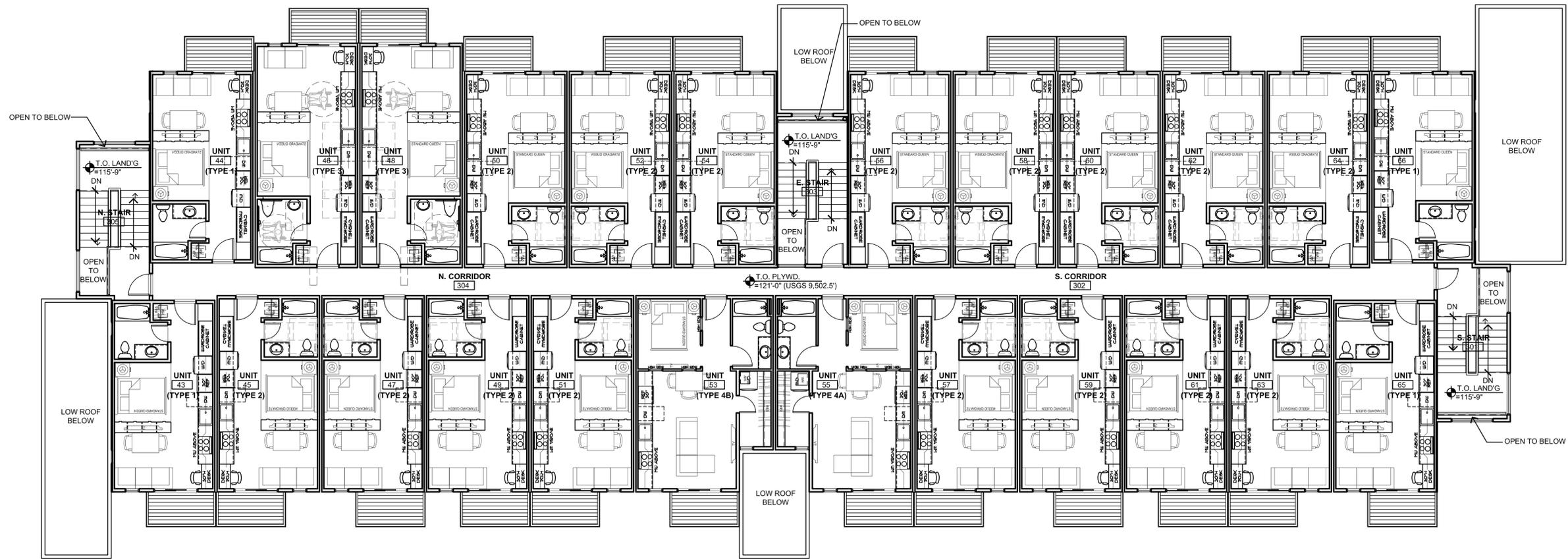
AREA CALCULATIONS UPPER

UNIT	AMOUNT	SF. EA. UNIT	TOTAL SQ. FT.
TYPE 1	4	X 410 SF.	1,640 SF.
TYPE 2	16	X 420 SF.	6,720 SF.
TYPE 3	2	X 480 SF.	960 SF.
TYPE 4A	1	X 524 SF.	524 SF.
TYPE 4B	1	X 524 SF.	524 SF.
TOTAL UNITS	24	--	10,368 SF.
CORRIDOR	--	--	969 SF.
TOTAL	--	--	11,337 SF.

PRELIMINARY NOT FOR CONSTRUCTION

JOB NO: 18834.4
ISSUED FOR: DATE: 06.28.22

©2022 THIS DRAWING IS COPYRIGHTED AND SHALL NOT BE REPRODUCED WITHOUT ARCHITECT'S WRITTEN PERMISSION
DRAWN BY: M.HOGAN
CHECKED BY:



UPPER LEVEL PLAN

SCALE: 1/8" = 1'-0"

bhh Partners
P.O. BOX 931 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880

BGV WORKFORCE HOUSING
11030 HIGHWAY 9, TRACT 2A, BGV WORKFORCE HOUSING AT BRECKENRIDGE SUMMIT COUNTY, COLORADO

SHEET NUMBER:

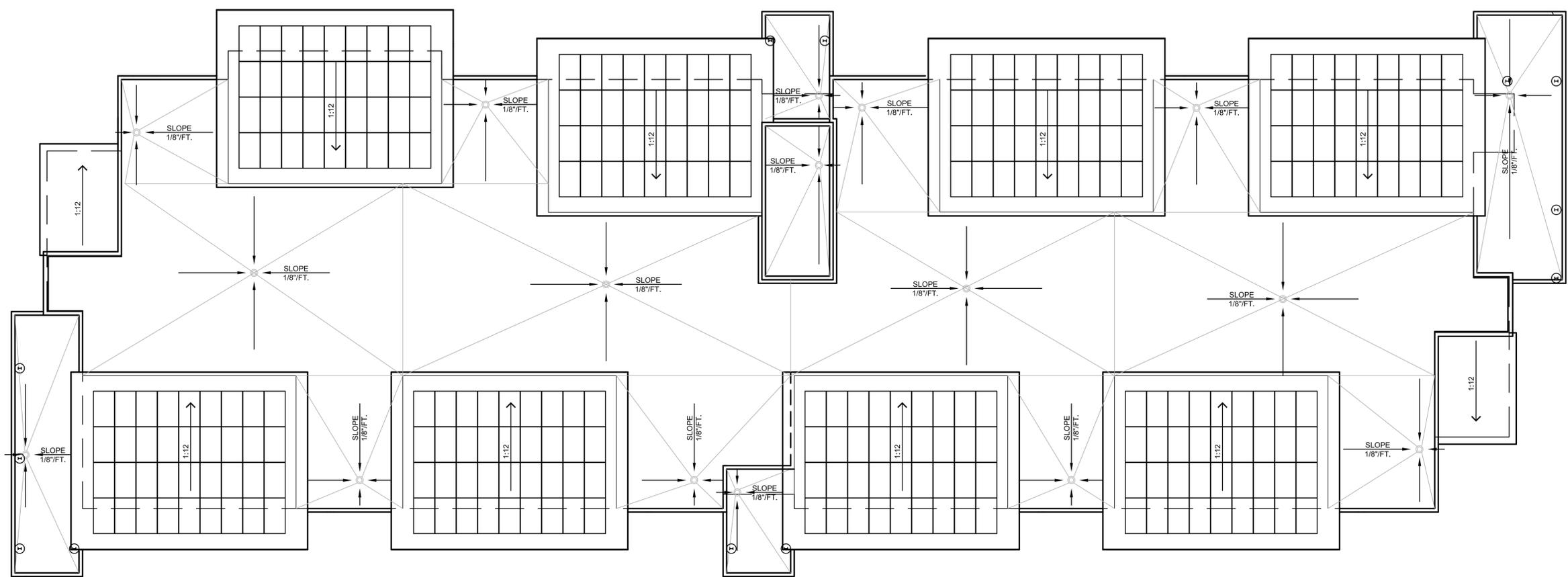
A1.3
UPPER LEVEL PLAN

**PRELIMINARY
NOT FOR
CONSTRUCTION**

JOB NO:	18834.4
ISSUED FOR:	DATE:
	06.28.22

©2022 THIS DRAWING IS COPYRIGHTED AND SHALL NOT BE REPRODUCED WITHOUT ARCHITECT'S WRITTEN PERMISSION

DRAWN BY:
CHECKED BY: M.HOGAN



ROOF PLAN

SCALE: 1/8" = 1'-0"

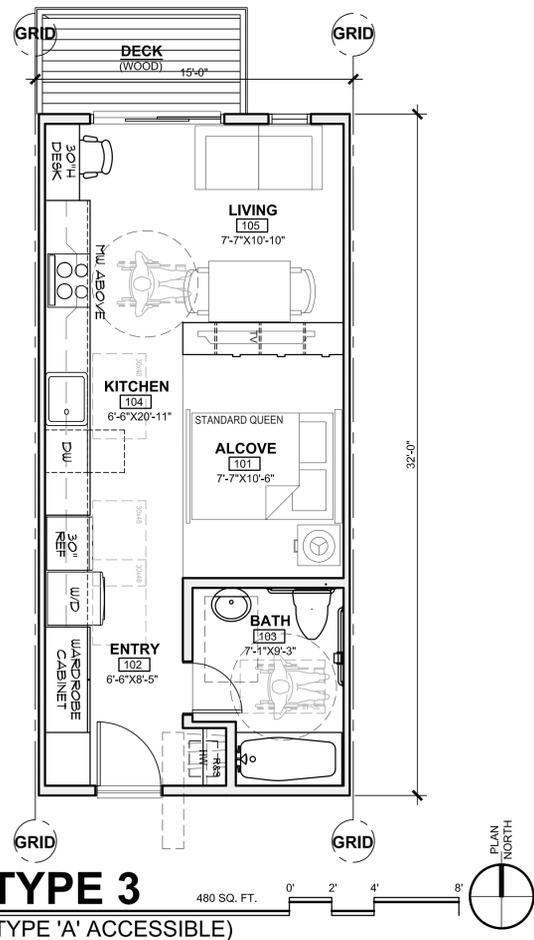


bhh Partners
P.O. BOX 931 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880

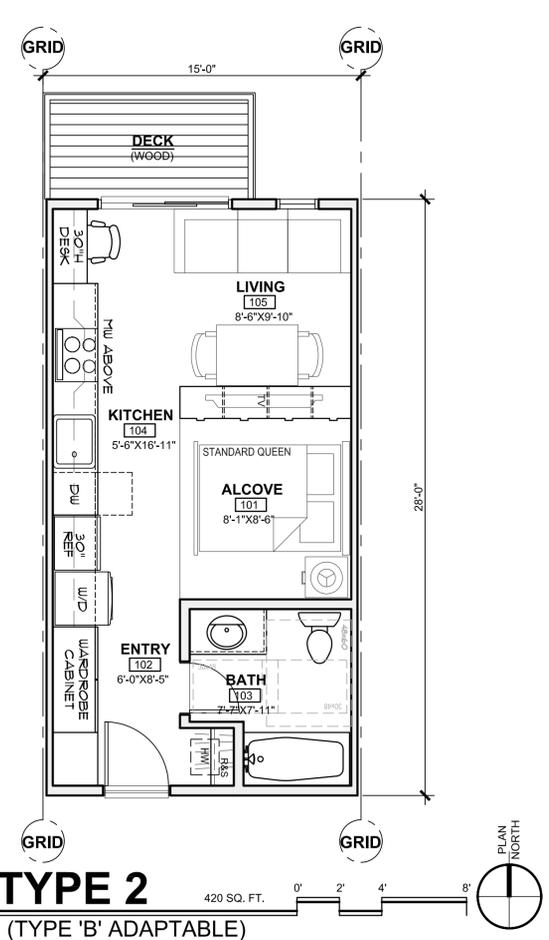
BGV WORKFORCE HOUSING
11030 HIGHWAY 9, TRACT 2A, BGV WORKFORCE HOUSING AT BRECKENRIDGE SUMMIT COUNTY, COLORADO

SHEET NUMBER:

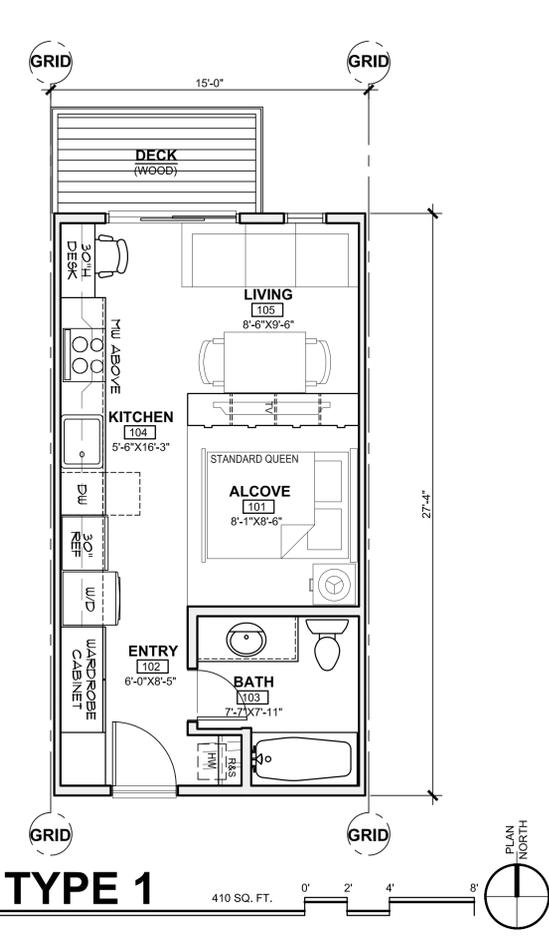
A1.4
ROOF PLAN



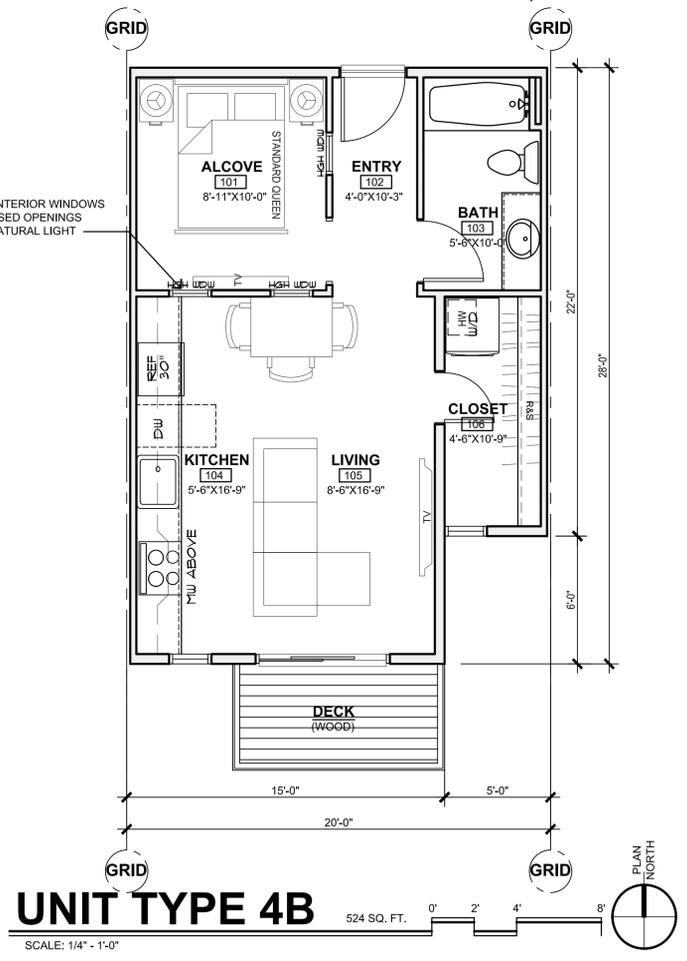
UNIT TYPE 3
480 SQ. FT.
SCALE: 1/4" - 1'-0" (TYPE 'A' ACCESSIBLE)



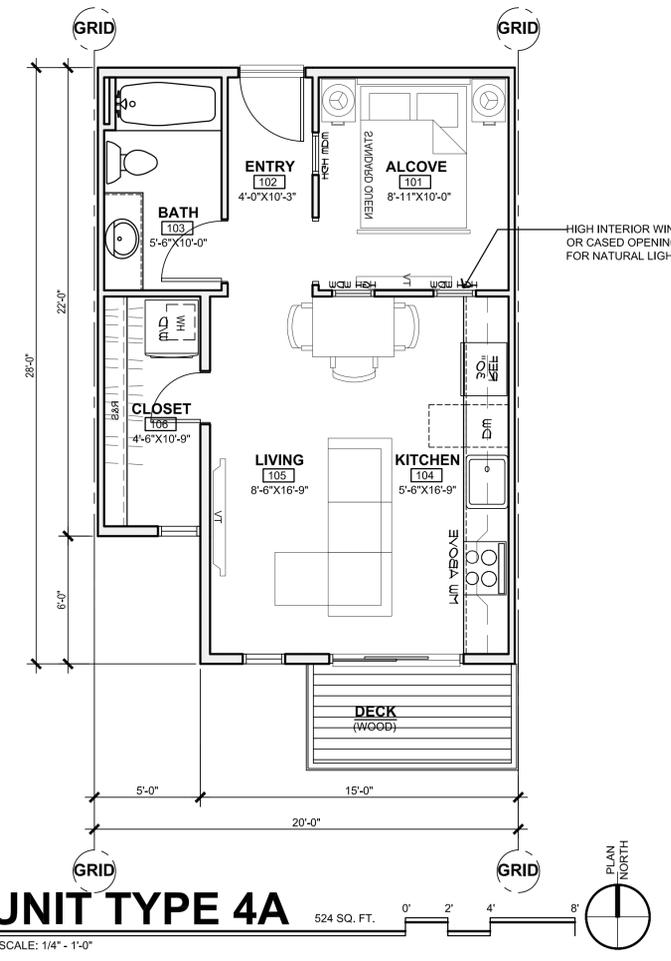
UNIT TYPE 2
420 SQ. FT.
SCALE: 1/4" - 1'-0" (TYPE 'B' ADAPTABLE)



UNIT TYPE 1
410 SQ. FT.
SCALE: 1/4" - 1'-0"



UNIT TYPE 4B
524 SQ. FT.
SCALE: 1/4" - 1'-0"



UNIT TYPE 4A
524 SQ. FT.
SCALE: 1/4" - 1'-0"

**PRELIMINARY
NOT FOR
CONSTRUCTION**

JOB NO: 18834.4
ISSUED FOR: DATE: 06.28.22

©2022 THIS DRAWING IS COPYRIGHTED AND SHALL NOT BE REPRODUCED WITHOUT ARCHITECT'S WRITTEN PERMISSION
DRAWN BY:
CHECKED BY: M.HOGAN

bhh Partners
P.O. BOX 931 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880
BGV WORKFORCE HOUSING
11030 HIGHWAY 9, TRACT 2A, BGV WORKFORCE HOUSING AT BRECKENRIDGE SUMMIT COUNTY, COLORADO

SHEET NUMBER:
A1.5
UNIT PLANS

**PRELIMINARY
NOT FOR
CONSTRUCTION**

REVISIONS:

JOB NO: 18834.4
DATE: 06.28.22
DRAWN BY:
CHECKED BY: M.HOGAN

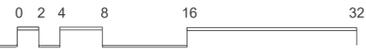
2022 THIS DRAWING IS COPYRIGHTED
AND SHALL NOT BE REPRODUCED
WITHOUT ARCHITECT'S WRITTEN
PERMISSION

COLOR LEGEND	
1	METAL ROOFING -METAL SALES (COLOR: MATTE BLACK)
2	WINDOW CLAD -JELDWEN (COLOR: BLACK)
3	TOP FASCIA - METAL SALES (COLOR: BLACK)
4	1X6 T&G VERTICAL SIDING, BOTTOM FASCIA AND SOFFITS - UFP EDGE THERMALLY MODIFIED COLLECTION (COLOR: VG HEMLOCK)
5	VERTICAL REVERSE BOARD & BATTEN - UFP EDGE THERMALLY MODIFIED COLLECTION (COLOR: TIMBER RIDGE)
6	ACCENT SIDING VERTICAL RANDOM WIDTH - CEMBRIT PATINA FIBER CEMENT PANELS (COLOR: P020)
7	STONE VENEER - MFGR: TELLURIDE STONE COMPANY (COLOR: WHITE BUFF)



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



PROGRESS SET: 06.28.22



WEST ELEVATION

SCALE: 1/8" = 1'-0"



bhh Partners
P.O. BOX 931 180 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 455-6800

BGV WORKFORCE HOUSING
11030 HIGHWAY 9, TRACT A2, BGV WORKFORCE HOUSING AT BRECKENRIDGE SUMMIT COUNTY, COLORADO

© 2022

A2.1
BUILDING
ELEVATIONS

**PRELIMINARY
NOT FOR
CONSTRUCTION**

REVISIONS:

JOB NO: 18834.4
DATE: 06.28.22
DRAWN BY:
CHECKED BY: M.HOGAN

2022 THIS DRAWING IS COPYRIGHTED
AND SHALL NOT BE REPRODUCED
WITHOUT ARCHITECT'S WRITTEN
PERMISSION

PROGRESS SET: 06.28.22



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



bhh Partners
P.O. BOX 931 180 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 455-6800

BGV WORKFORCE HOUSING
11030 HIGHWAY 9, TRACT A2, BGV WORKFORCE HOUSING AT BRECKENRIDGE SUMMIT COUNTY, COLORADO

© 2022

A2.2
BUILDING
ELEVATIONS

BGV Rent Structure Proposal for Workforce Housing

November 9, 2023

Following discussions with Laurie Best, Mark Truckey, and Chris Kulick, BGV proposes the following rent structures for the in-town workforce housing development on Parcel 2.

Preliminary Unit Matrix

Unit Type	Density Type	Provided Density	Net SF/Unit	Beds/Unit	Units	Beds	Bed Dist. %	Net SF	Gross SF
Studio	Restricted	TOB	351	1	40	40	28%	14,053	15,283
1BR	Market	Developer	526	1	43	43	30%	22,611	24,213
Dorm	Restricted	TOB	2,122	6	10	60	42%	21,217	22,013
Storage								3,232	3,441
Total					93	143	100%	61,113	64,950

*** Tentative and preliminary, subject to change ***

175 People Effectively (Net SF / 350)

Proposed Rent Structure

The initial lease up rate will be based on the 2023 Summit County AMI table. All developer provided density will be subject to a 100% AMI rental cap and a live-work deed restriction. All Town of Breckenridge provided density will be subject to 60% AMI and a live-work deed restriction.

- Studio Units (1 Person) = 60% AMI or \$1,164
- 1 Bedroom Units (1.5 People) = 100% AMI or \$2,079
- Dorm Units (1 Person) = 85% of a 60% AMI Studio or \$989

Upon development agreement approval, the initial rates above will escalate 2.0% annually until construction is complete and the project receives a certificate of occupancy at which point annual rents will escalate at 3.0% annually in perpetuity.

Affordability

BGV's current *minimum* wage is \$21.75 per hour which according to the AMI table translates to an affordable monthly rent of \$1,131 (\$21.75 X 2,080 hours worked / 12 months X 30% affordability rate) which lands just shy of the studio unit rent rate above. Vail Resorts current *minimum* wage is \$20.00 per hour which translates to an affordable monthly rent of \$1,040 per month. The proposed dorm rental rates translate to a \$19.01 hourly wage according to AMI affordability standards. Finally, the 1-bedroom units at 100% AMI translate to an hourly wage of \$26.65 according to AMI affordability standards (\$2,079 monthly rent / 1.5 people / 30% affordability rate X 12 months / 2,080 hours worked).

BGV believes the proposal above meets the needs of the community from an affordability standpoint while providing a healthy mix of residential unit options for BGV and non-BGV workers alike.

1. Eliminates “Deed Restriction Light”

If BGV were to satisfy its workforce housing obligation at Parcel 4 within the East Peak 8 Hotel and Condo building those units would only be subject to a live-work deed restriction (“Deed Restriction Light”) with no limitations on rental rates or sale prices.

2. Significant Developer Contribution

By moving the housing from the base of the mountain to the core of town and agreeing to a 100% AMI cap, BGV is agreeing to a significant diminishment of value to what otherwise could be realized. We have proposed a baseline rent cap of \$2,079/month for this market density. We believe “deed restriction light” rents for units at the base of the mountain would command monthly rents that would minimally double the proposed rent cap.

3. Keeps Units in an Affordable Rental Pool

Our experience is that a “deed restriction light” unit would ultimately be sold on the open market. The live-work deed restriction could diminish purchase price, however we believe the location at the base of the mountain would offset the deed restriction and command a premium price. Our market experience on a similar project would place a sale price on these units of \$1,000/ft or more.

4. Necessary for Economic Feasibility

It is important to BGV to build our units without public monetary contributions. The 60% AMI baseline for the TOB provided density and 100% AMI baseline for Developer provided density are critical for economic feasibility.

5. Preserve Option for Non-Profits

Any owner or master lessor of the provided workforce housing on this parcel will be obligated to offer any seasonal vacancy to local community non-profit organizations for use.

Thank you,

Mike Dudick

Breckenridge Grand Vacations, CEO